

1723

6th March 2018

The Secretary
An Bord Pleanála
64 Marlborough Street
Dublin D01 V902



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ABP-30121-18

AN BORD PLEANÁLA
 TIME 12:39 BY AN
 08 MAR 2018
 LTR DATED _____ FROM AD
 PL LDG-003285-18

AN BORD PLEANÁLA
 Received: 8/3/18
 Fee: €320 CHQ
 Receipt No: LDG-003285-18

Re: Referral under Section 5.(3)(a) of a declaration issued by Dublin City Council on works to hampton hotel, 19-29 Morehampton Road, Donnybrook, Dublin 4, a protected structure.

Dublin City Council Register Reference 0375/17

AN BORD PLEANÁLA
 TIME 12:59 BY HNO
 08 MAR 2018
 RECEIVED BY _____
 PL _____



Dear Sir / Madam,

We act on behalf of Genport Limited, the long-leaseholder of the premises known as hampton hotel, 19-29 Morehampton Road, Dublin 4.

On 27th September 2017, we made an application to Dublin City Council under Section 5(1) of the Planning and Development Act 2000 for a declaration on the status of works carried out on the premises – as to whether those works constituted exempted development within the meaning of the Act.

The application for a declaration was prompted by injunction proceedings brought by the head landlord, Crofter Properties Limited, to prevent our client from operating, which proceedings were subsequently withdrawn.

On 31st October 2017, Dublin City Council sought additional information from us. We supplied the response in January 2018 and Dublin City Council issued their declaration on 13th February 2018. This was a split decision, which granted exemption to Item 1(d) and refused exemption to the other items for which the application was made.

1. Referral

On behalf of our client, we wish to refer that declaration for review by An Bord Pleanála.

We consider that all the works for which the application was made do indeed fall into categories of: *“development consisting of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;”* [Section 4(1)(h)]

We also consider that the works carried out to the protected structure do: "...not materially affect the character of- (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific social or technical interest." [Section 57(1)(a) and (b)]

In essence, the works relate to either late 20th/early 21st century parts of the premises of no historical interest, to parts of the enclosure of the protected structure in which no historic elements of special interest remain, or minor works to the exterior of the protected structures.

2. Description of the works

In our original application, we categorised the works according to their locations in the building – basement, ground and first floor levels. In addition, it may be useful for An Bord to review the works according to their relevance to the protected structure. For that purpose, the elements the works may be summarised under three headings:

- (1) works in modern parts of the buildings (dating from the late 20th/early 21st century): see under heading 'A' below,
- (2) works to parts of the interior of the original buildings which have no surviving historic elements of special interest): see under heading 'B' below, and
- (3) works to the exterior areas of the original buildings, at the rear of the first floor and at the front of the protected structures at ground level; see under heading 'C' below.

A): Works to the 20th and 21st century parts of the premises which are of no historical interest:

A)(i): The conversion of 20th/21st century single-storey extension to the rear from function and service rooms to 10 no. bedrooms.

A)(ii): The insertion of 5 no. doors and 4 no. windows into the rear façade of the 20th/21st century single-storey structure.

A)(iii): The relocation of the existing rear fire escape, including partial roofing and the modification of the first flight of the existing fire escape stairs from the main function room.

B): Works to parts of the interior enclosure of the protected structures which have no surviving historic fabric of special interest:

B)(i): Works to the former nightclub part of the basements of nos.27, 28 & 29 to insert 3 no. bedrooms, allowing for reinstatement of a more appropriate use in this area.

B)(ii): Works to the former conference area of the ground floor of no.29 to insert 2 no. bedrooms.

C): Works to the exterior of the protected structures:

C)(i): The corridor along the rear of no.25 Morehampton Road, connecting bedrooms in nos.27 and 29 to the lift at first floor level.

C)(ii): The opening up of the former windows at basement level at the front façades of no. 25, 27 & 29 Morehampton Road.

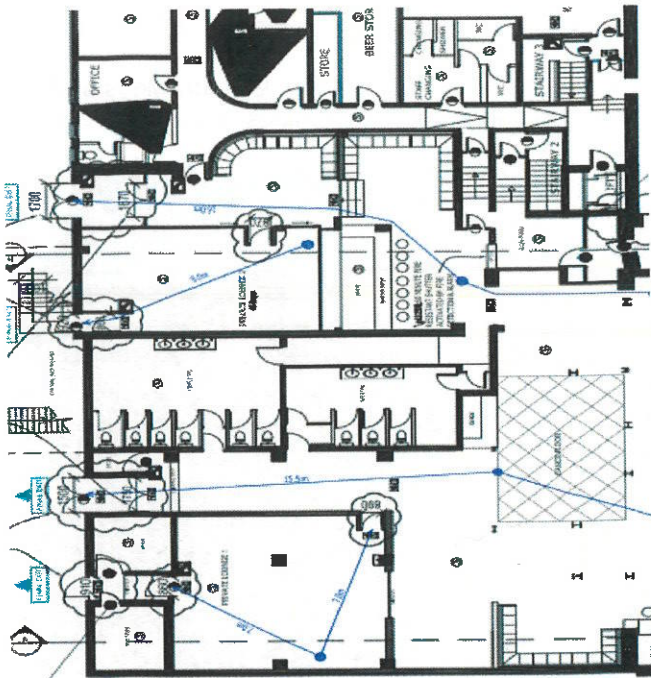
C)(iii): The landscaping of 4 no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

2a. Detailed Description, analysis and assessment of the works

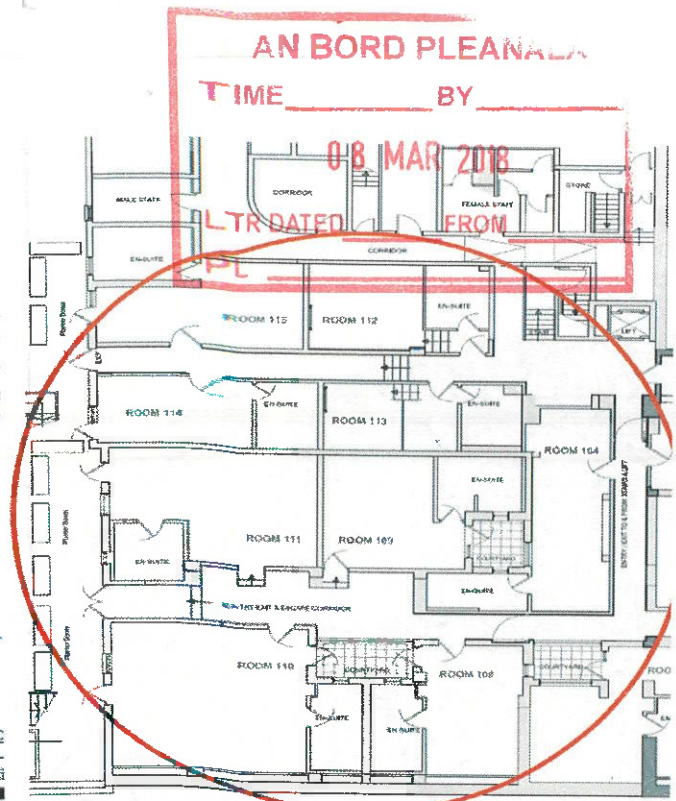
We set out below a detailed description, analysis and assessment of the works summarised above.

A): Works to the 20th and 21st century parts of the premises of no historical interest:

A)(i): The conversion to 10 no. bedrooms of function and service rooms in a 20th/21st century single-storey extension at the rear of the hotel.



Layout of the area in 2009

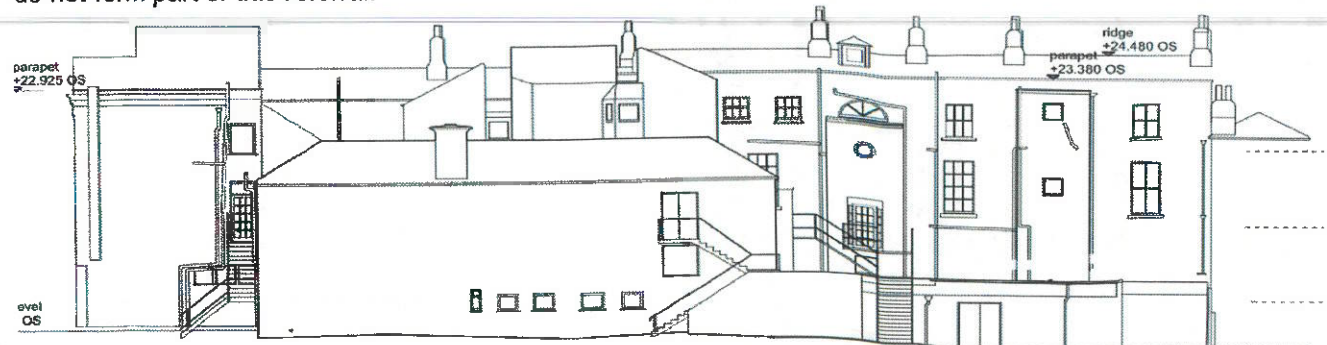


Layout in 2017

This flat-roofed extension was constructed in the latter half of the 20th Century. It served for many years as a night club before it was renovated in 2009/2010. The floor plan drawings above illustrate it as it was in 2009 and as it is currently. The works carried out recently are mainly internal improvements, with the only external alterations being to the rear façade. These works are noted in A)(ii) below.

Assessment: These works are in a modern part of the premises, with no historic fabric or special interest. The use of the area for bedrooms is more appropriate to the adjacent protected structure than was its use as a nightclub. These works have no physical effect on the 19th century protected structure and they are internal works that improve the structure.

A)(ii): The insertion of 5 no. doors and 4 no. windows into the rear façade of the 20th/21st century single-storey structure. Dublin City Council has granted exempted status to these works, which are illustrated below, and they therefore do not form part of this referral.



Rear façade in 2009



Rear façade in 2017

A)(iii): The relocation of the existing fire escape, including partial roofing and the modification of the first flight of the existing fire escape stairs from the main function room.

As well as on the drawings above, these works are indicated in the photograph below. Both drawings and the photographs show that, in the context of the modern additions to the rear of the premises, these improvement works are minor.

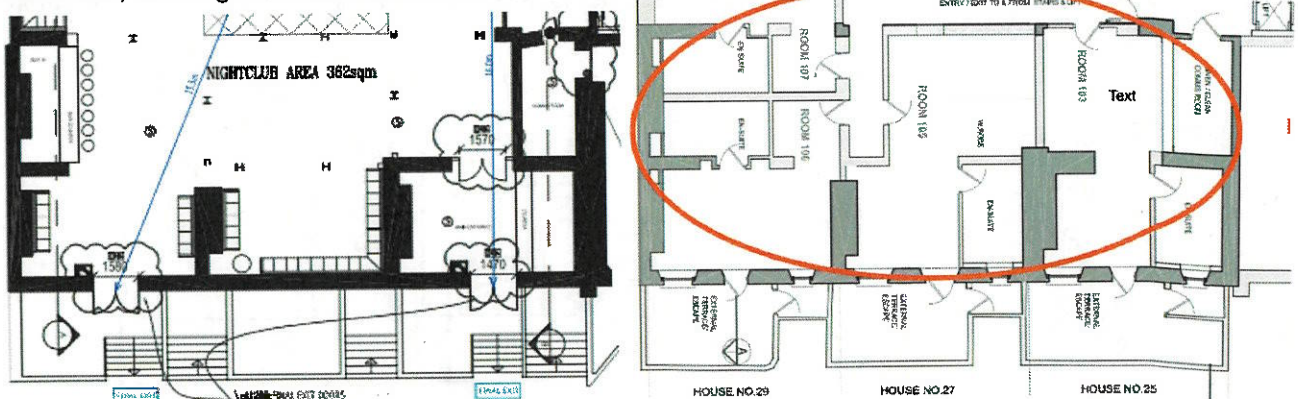


View of the altered fire escapes to the rear of the 20th/21st century buildings

Assessment: These works are in a modern part of the premises, with no historic fabric or any elements of special interest. As with the alterations to the rear façades, these works do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

B): Works to parts of the interior enclosure of the protected structures which have no remaining elements of special interest:

B)(i): Works to the former night-club part of the basements of nos.27, 28 & 29 to allow for the insertion of 3 no. bedrooms, allowing for the reinstatement of that use to this area.



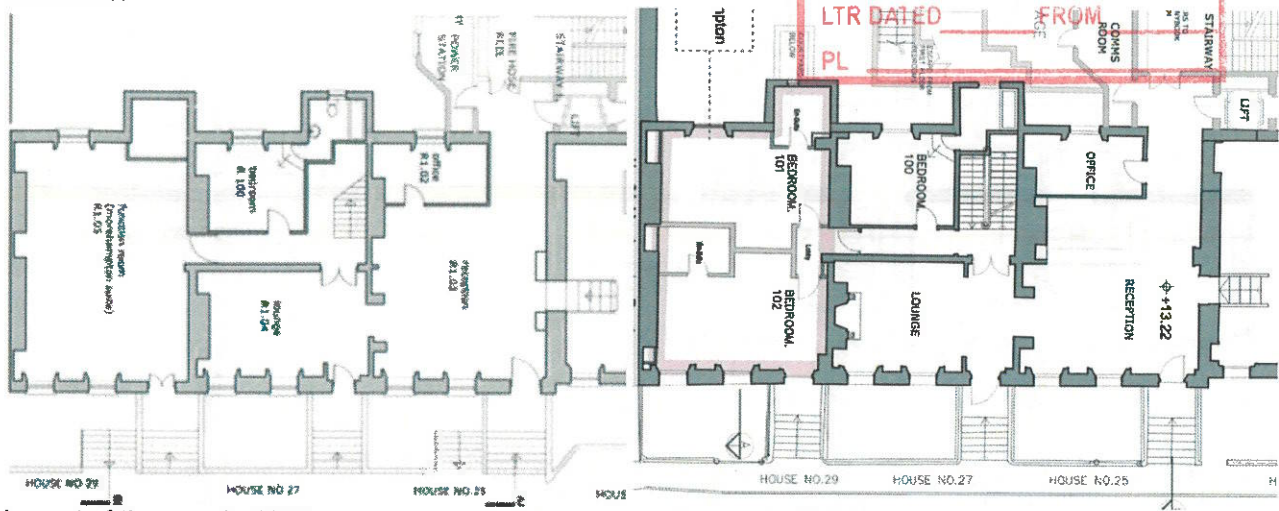
Layout of the area in 2009

Layout in 2017

As illustrated above, these areas had been altered considerably in the 20th century, leaving only parts of the footprint of the original three buildings. In the recent works, those surviving elements of the original fabric have been retained and incorporated into the three bedrooms and en-suites that have been inserted. The original historic layout is unknown.

Assessment: The as-built layout cannot replicate an uncertain historic layout, but, as-built, it does reflect the structure of the buildings overhead. It is therefore more authentic than the layout that it replaces and is an improvement from the conservation viewpoint. The use of these rooms as bedrooms is more appropriate than the use of the area as a nightclub.

B)(ii): Works to the former conference area of the ground floor of no.29 to allow for the insertion of 2 no. bedrooms.

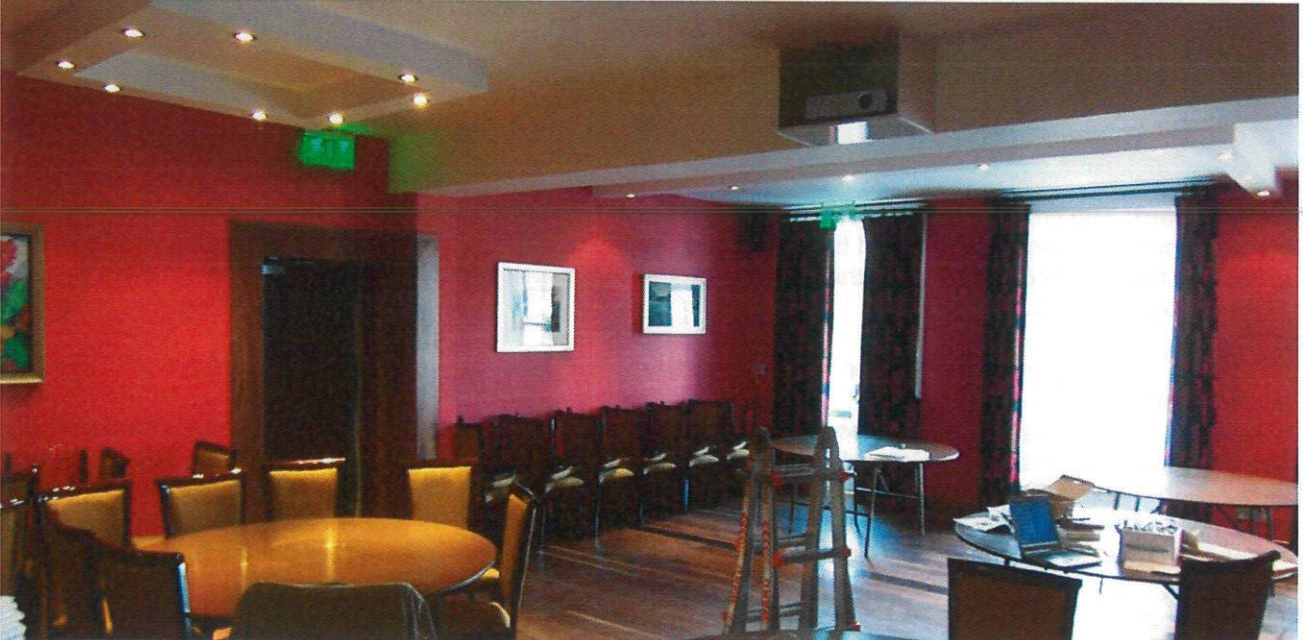


Layout of the area in 1995

Layout in 2017

As can be seen on the earlier drawing above, the historic elements of the interior of no.29 were no longer in existence at the end of the 20th century. The first available record of the ground floor of no.29 shows the structure as an open plan area from front to rear and from side to side, with a recess in what would probably have been the staircase return. The insertion of the two rooms has little impact on the building.

Assessment: The reinstatement of the structure into a two-room plan is an improvement on the former open plan layout of the ground floor of no.29. While it does not exactly reproduce the original conjectural layout, it restores a domestic character to the floor. In the author's opinion, the works carried out do not materially affect the character of the structure and they provide a more suitable use for the structure from the conservation point of view.

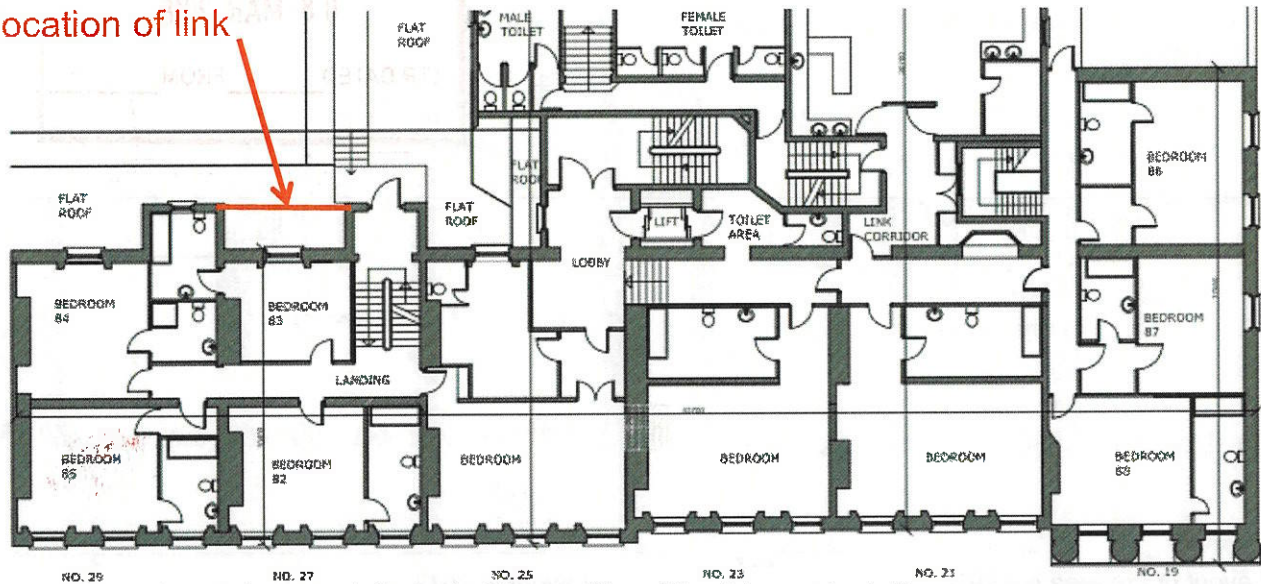


view of no.29 looking to the front façade prior to the works

C): Works to the exterior of the protected structures:

C)(i): The corridor along the rear of no.25 Morehampton Road, which allows connection of nos.27 and 29 Morehampton Road to the lift at first floor level. The link corridor is to the rear of a bathroom and serves to increase the ease of access for guests of the hotel. There are no elements of historical interest in this area. The alterations to the rear façade that result from this link are imperceptible, given the set back from the back wall of the 20th century single storey structure to the original back wall at upper floor levels of the protected structure.

location of link



Drawing (above) and photograph (below) of the position of the link corridor to the rear of no.25

location of link



Assessment: The first floor link obscures part of the rear façade of no.25. That concealed section was barely visible prior to the current works and the link works for which exemption is sought is reversible. Furthermore, given that the link is not visible from the front exterior of the building, it does not materially affect the character of the protected structure.

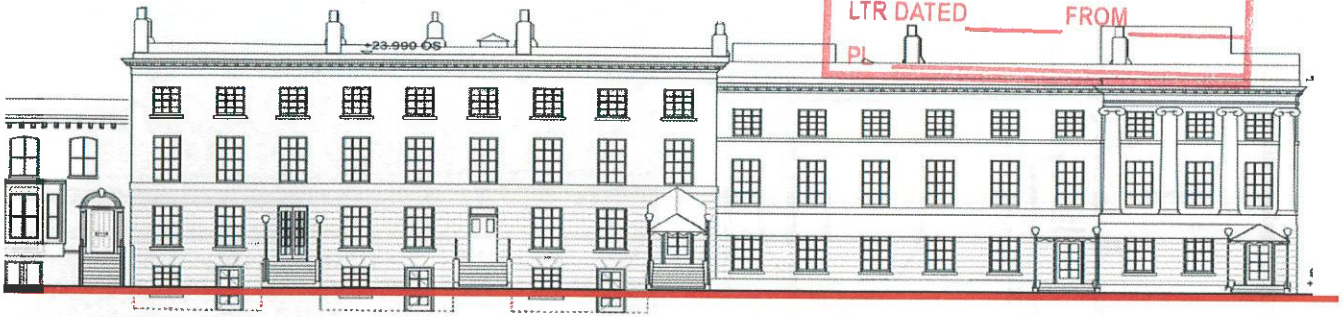
C)(ii): The opening up of the former windows at basement level at the front façades of no. 25, 27 & 29 Morehampton Road.

Details of the windows and doors inserted into the basement areas of the three buildings are included in the documents sent to Dublin City Council (copies of which are attached to this referral letter). The relevant issues here are that originally there would have been openings at basement level in the locations where they have been reinserted, but no evidence of these opes remain. By definition, the open areas at basement level are below the public street and are set behind railings on plinths which restore a traditional public presentation of the buildings to the street. These alterations are unobtrusive.



Front elevation in 2008

AN BORD PLEANALA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____



Front elevation in 2017 (with railings to nos.25, 27 & 29 omitted from the drawing for clarity)



view of the buildings in 2008 from Morehampton Road

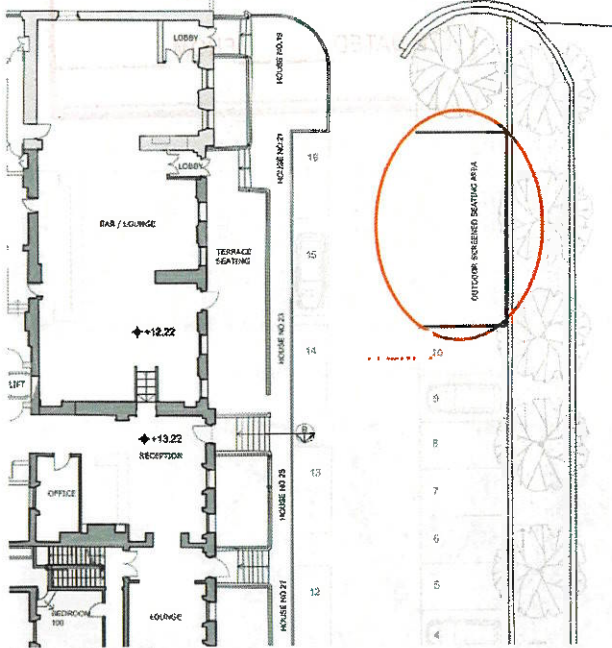


view of the buildings in 2017 from Morehampton Road

Assessment: The photographs and drawings above compare the basement façades in 2008 with the altered façades in 2017 and clearly show the minimal effect of the works. While there is no evidence to indicate the exact disposition of the earlier historic fabric, the joinery that has been inserted has been sympathetically carried out and has an authenticity so as to not materially affect the character of the protected structure. The re-use of the areas to the front of the three structures is a positive improvement.

C)(iii): The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

There is more than adequate off-street car-parking for the hotel use of the buildings, both as regards Development Plan standards and practical use of the allocated spaces. The re-use of four car-parking spaces to the front of no.21 Morehampton Road as an outdoor seating area is, in our opinion, far better for the frontage than its previous use for cars. The nature of this element is as a landscape intervention more than anything else. The area in question is across the roadway from the protected structures and is set behind the stone balustrade that forms the public edge of the architectural set-piece of the terrace. Other than its animation in use, it is unobtrusive and has no impact on the protected structures.



Plan of landscaped area



view of the landscaped area outside no.21, looking south



view of the terrace in 2008, with the car-parking area outside no.21 Morehampton Road to the right hand side



view of the terrace in 2017, with landscaped area outside no.21 Morehampton Road to the right hand side

Assessment: The photographs above compare the setting of the protected structures in 2008 and in 2017. It is clear that the effect of the landscaping is minimal and that the re-use of the area to the front of no.21 Morehampton Road is a positive improvement compared with its use for parking cars. The area is well screened and is laid out so that it does not materially affect the character of the protected structure or its setting. It is noteworthy that the impact of this element is considerably less than the impact of the removal and

replacement of trees to the front of the premises, for which a Section 5 exemption was declared in November 2008 by Dublin City Council – Register Reference 0576/08.

3. Summary

The works that have been carried out to the buildings - both historic and non-historic - since 2009 are consistent with its use as a hotel. In the context of the overall use of the existing structures and the site, the nature of the works is relatively minor.

The four elements of work to the historic structure [Items 1(a), 1(c), 2(c) and 3] do not, in our opinion, materially affect the character of the protected structure or any element of it that contributes to its special interest.

Similarly, the five elements of the work to the 20th / 21st century parts of the premises [Items 1(b), 1(d), 2(a), 2(b) and 4] are, in our opinion, internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

For these reasons, we respectfully ask that the board view the works as: *“development consisting of works for the maintenance, maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”* [Section 4(1)(h)];

and:

as works which do: *“...not materially affect the character of- (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific social or technical interest.”* [Section 57(1)(a) and (b)].

We attach a cheque in the sum of € 220.00 as well as the entirety of our submissions to Dublin City Council, so that An Bord can get a full overview of the questions relating to the Section 5 declaration and referral.

Yours faithfully,

Robin Mandal
Director
Robin Mandal Architects



ENCL: Cheque for € 220.00; original Section 5 Application and response to the subsequent request for Additional Information, including the decisions by Dublin City Council.

ORIGINAL SECTION 5 APPLICATION - Letter to Board Document

FOR BOARD PLEASE
BY _____ TIME
08 MAR 2018
FROM _____ DATE

1723

6th March 2018

The Secretary
An Bord Pleanála
64 Marlborough Street
Dublin D01 V902



AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

LTR DATED _____ FROM _____

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Re: Referral under Section 5.(3)(a) of a declaration issued by Dublin City Council on works to hampton hotel, 19-29 Morehampton Road, Donnybrook, Dublin 4, a protected structure.

Dublin City Council Register Reference 0375/17

Dear Sir / Madam,

We act on behalf of Genport Limited, the long-leaseholder of the premises known as hampton hotel, 19-29 Morehampton Road, Dublin 4.

On 27th September 2017, we made an application to Dublin City Council under Section 5(1) of the Planning and Development Act 2000 for a declaration on the status of works carried out on the premises – as to whether those works constituted exempted development within the meaning of the Act.

The application for a declaration was prompted by injunction proceedings brought by the head landlord, Crofter Properties Limited, to prevent our client from operating, which proceedings were subsequently withdrawn.

On 31st October 2017, Dublin City Council sought additional information from us. We supplied the response in January 2018 and Dublin City Council issued their declaration on 13th February 2018. This was a split decision, which granted exemption to Item 1(d) and refused exemption to the other items for which the application was made.

1. Referral

On behalf of our client, we wish to refer that declaration for review by An Bord Pleanála.

We consider that all the works for which the application was made do indeed fall into categories of: *“development consisting of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;”* [Section 4(1)(h)]

We also consider that the works carried out to the protected structure do: "...not materially affect the character of- (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific social or technical interest." [Section 57(1)(a) and (b)]

In essence, the works relate to either late 20th/early 21st century parts of the premises of no historical interest, to parts of the enclosure of the protected structure in which no historic elements of special interest remain, or minor works to the exterior of the protected structures.

2. Description of the works

In our original application, we categorised the works according to their locations in the building – basement, ground and first floor levels. In addition, it may be useful for An Bord to review the works according to their relevance to the protected structure. For that purpose, the elements the works may be summarised under three headings:

- (1) works in modern parts of the buildings (dating from the late 20th/early 21st century): see under heading 'A' below,
- (2) works to parts of the interior of the original buildings which have no surviving historic elements of special interest): see under heading 'B' below, and
- (3) works to the exterior areas of the original buildings, at the rear of the first floor and at the front of the protected structures at ground level; see under heading 'C' below.

A): Works to the 20th and 21st century parts of the premises which are of no historical interest:

A)(i): The conversion of 20th/21st century single-storey extension to the rear from function and service rooms to 10 no. bedrooms.

A)(ii): The insertion of 5 no. doors and 4 no. windows into the rear façade of the 20th/21st century single-storey structure.

A)(iii): The relocation of the existing rear fire escape, including partial roofing and the modification of the first flight of the existing fire escape stairs from the main function room.

B): Works to parts of the interior enclosure of the protected structures which have no surviving historic fabric of special interest:

B)(i): Works to the former nightclub part of the basements of nos.27, 28 & 29 to insert 3 no. bedrooms, allowing for reinstatement of a more appropriate use in this area.

B)(ii): Works to the former conference area of the ground floor of no.29 to insert 2 no. bedrooms.

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C)(i): The corridor along the rear of no.25 Morehampton Road, connecting bedrooms in nos.27 and 29 to the lift at first floor level.

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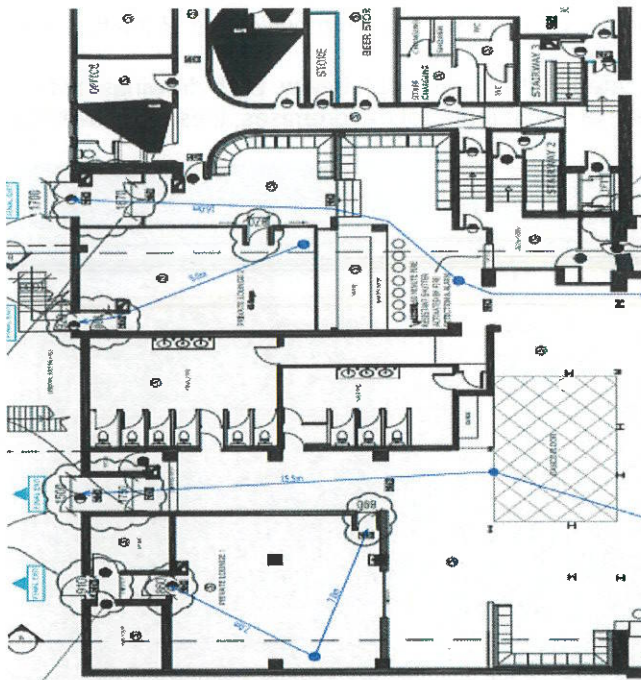
C)(iii): The landscaping of 4 no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

2a. Detailed Description, analysis and assessment of the works

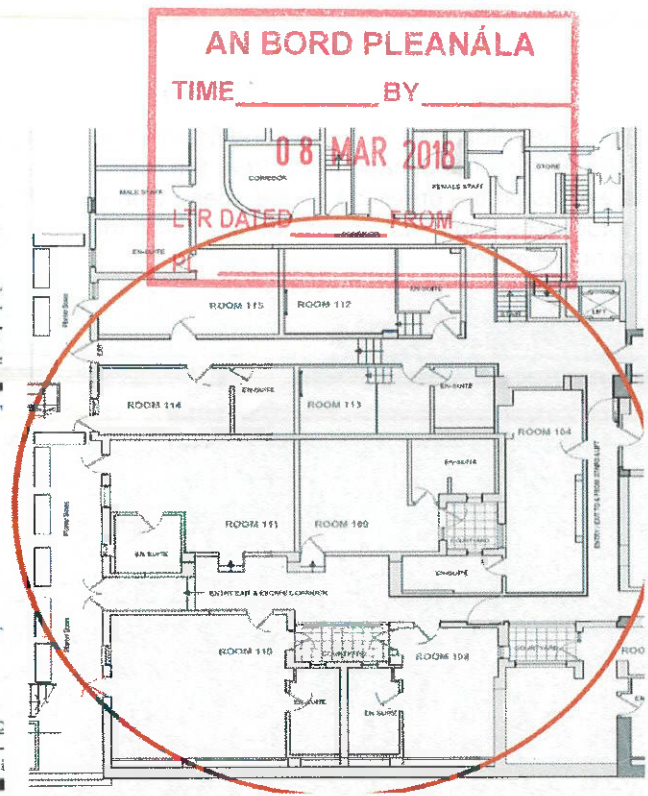
We set out below a detailed description, analysis and assessment of the works summarised above.

A): Works to the 20th and 21st century parts of the premises of no historical interest:

A)(i): The conversion to 10 no. bedrooms of function and service rooms in a 20th/21st century single-storey extension at the rear of the hotel.



Layout of the area in 2009



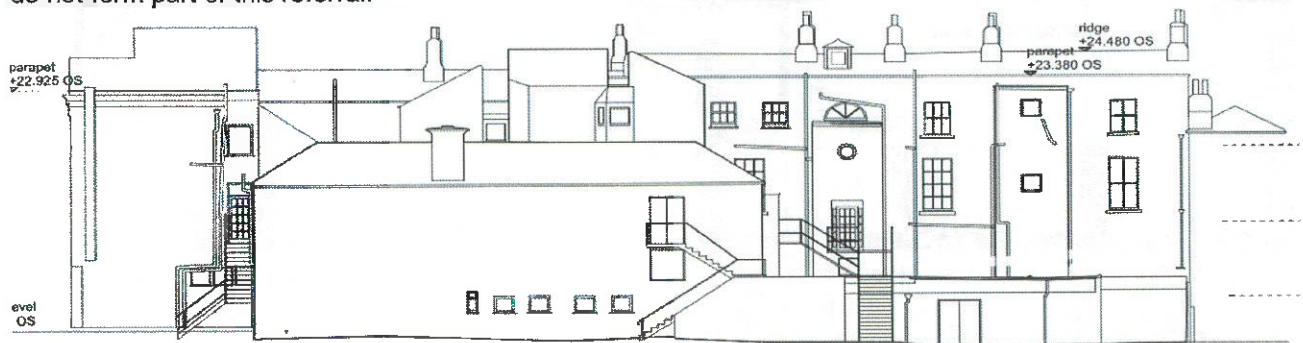
Layout in 2017

This flat-roofed extension was constructed in the latter half of the 20th century. It served for many years as a night club before it was renovated in 2009/2010. The floor plan drawings above illustrate it as it was in 2009 and as it is currently. The works carried out recently are mainly internal improvements, with the only external alterations being to the rear façade. These works are noted in A)(ii) below.

Assessment: These works are in a modern part of the premises, with no historic fabric or special interest. The use of the area for bedrooms is more appropriate to the adjacent protected structure than was its use as a nightclub. These works have no physical effect on the 19th century protected structure and they are internal works that improve the structure.

A)(ii): The insertion of 5 no. doors and 4 no. windows into the rear façade of the 20th/21st century single-storey structure.

Dublin City Council has granted exempted status to these works, which are illustrated below, and they therefore do not form part of this referral.



Rear façade in 2009



Rear façade in 2017

A)(iii): The relocation of the existing fire escape, including partial roofing and the modification of the first flight of the existing fire escape stairs from the main function room.

As well as on the drawings above, these works are indicated in the photograph below. Both drawings and the photographs show that, in the context of the modern additions to the rear of the premises, these improvement works are minor.

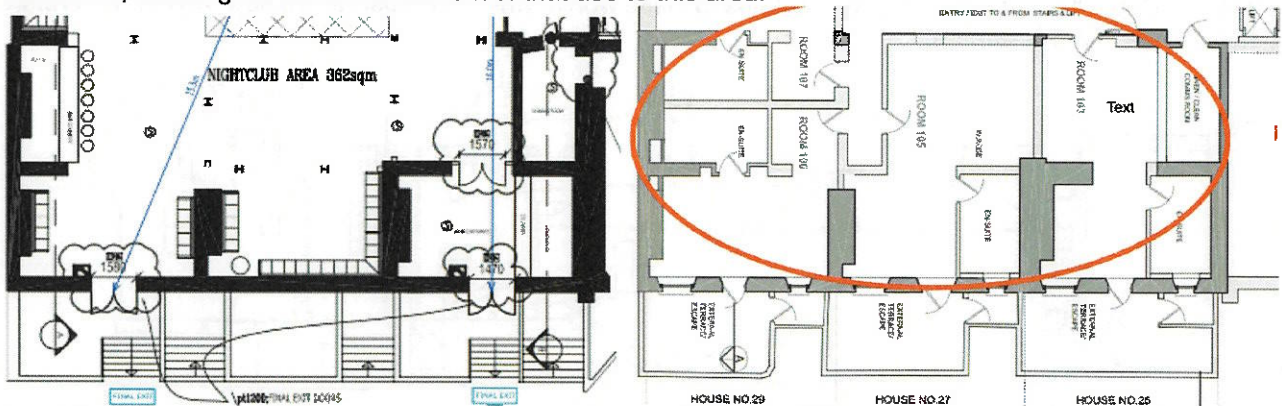


View of the altered fire escapes to the rear of the 20th/21st century buildings

Assessment: These works are in a modern part of the premises, with no historic fabric or any elements of special interest. As with the alterations to the rear façades, these works do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

B): Works to parts of the interior enclosure of the protected structures which have no remaining elements of special interest:

B)(i): Works to the former night-club part of the basements of nos.27, 28 & 29 to allow for the insertion of 3 no. bedrooms, allowing for the reinstatement of that use to this area.



Layout of the area in 2009

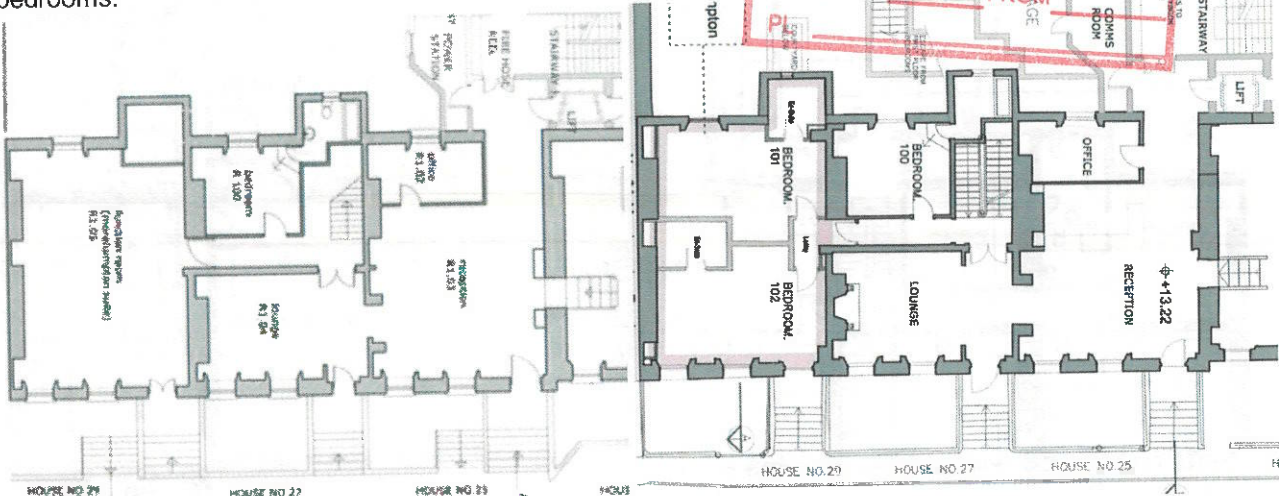
Layout in 2017

As illustrated above, these areas had been altered considerably in the 20th century, leaving only parts of the footprint of the original three buildings. In the recent works, those surviving elements of the original fabric have been retained and incorporated into the three bedrooms and en-suites that have been inserted. The original historic layout is unknown.

Assessment: The as-built layout cannot replicate an uncertain historic layout, but, as-built, it does reflect the structure of the buildings overhead. It is therefore more authentic than the layout that it replaces and is an improvement from the conservation viewpoint. The use of these rooms as bedrooms is more appropriate than the use of the area as a nightclub.

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B)(ii): Works to the former conference area of the ground floor of no.29 to allow for the insertion of 2 no. bedrooms.

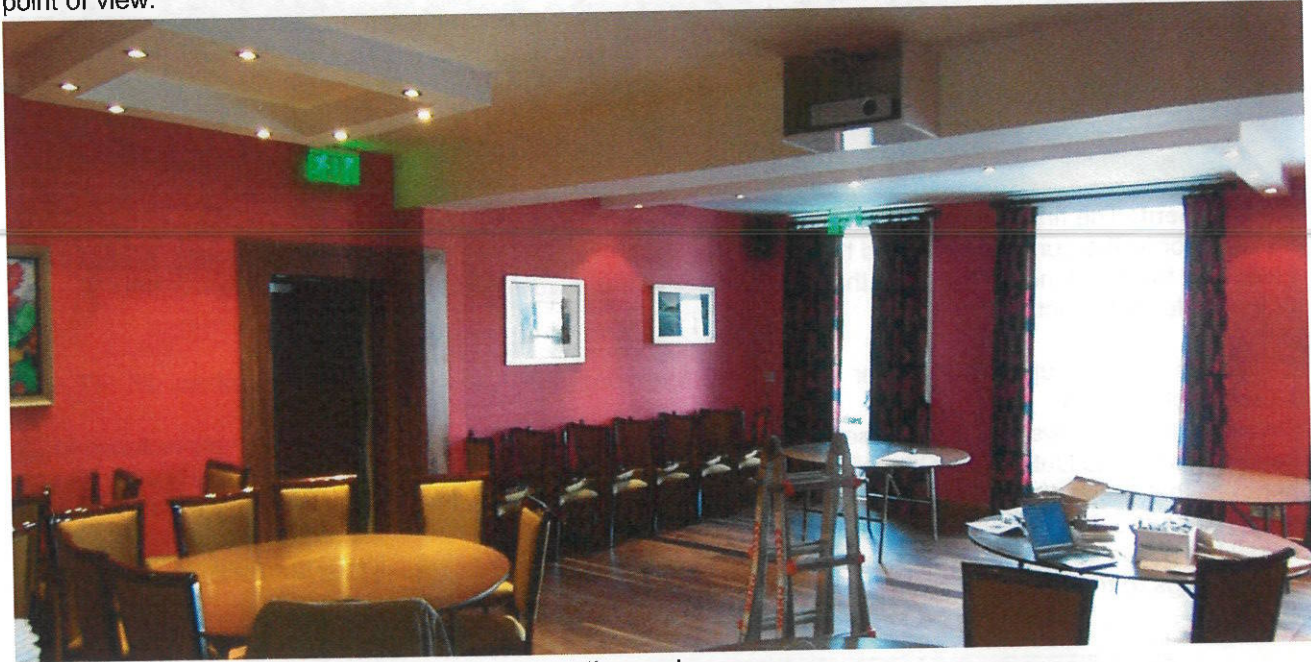


Layout of the area in 1995

Layout in 2017

As can be seen on the earlier drawing above, the historic elements of the interior of no.29 were no longer in existence at the end of the 20th century. The first available record of the ground floor of no.29 shows the structure as an open plan area from front to rear and from side to side, with a recess in what would probably have been the staircase return. The insertion of the two rooms has little impact on the building.

Assessment: The reinstatement of the structure into a two-room plan is an improvement on the former open plan layout of the ground floor of no.29. While it does not exactly reproduce the original conjectural layout, it restores a domestic character to the floor. In the author's opinion, the works carried out do not materially affect the character of the structure and they provide a more suitable use for the structure from the conservation point of view.

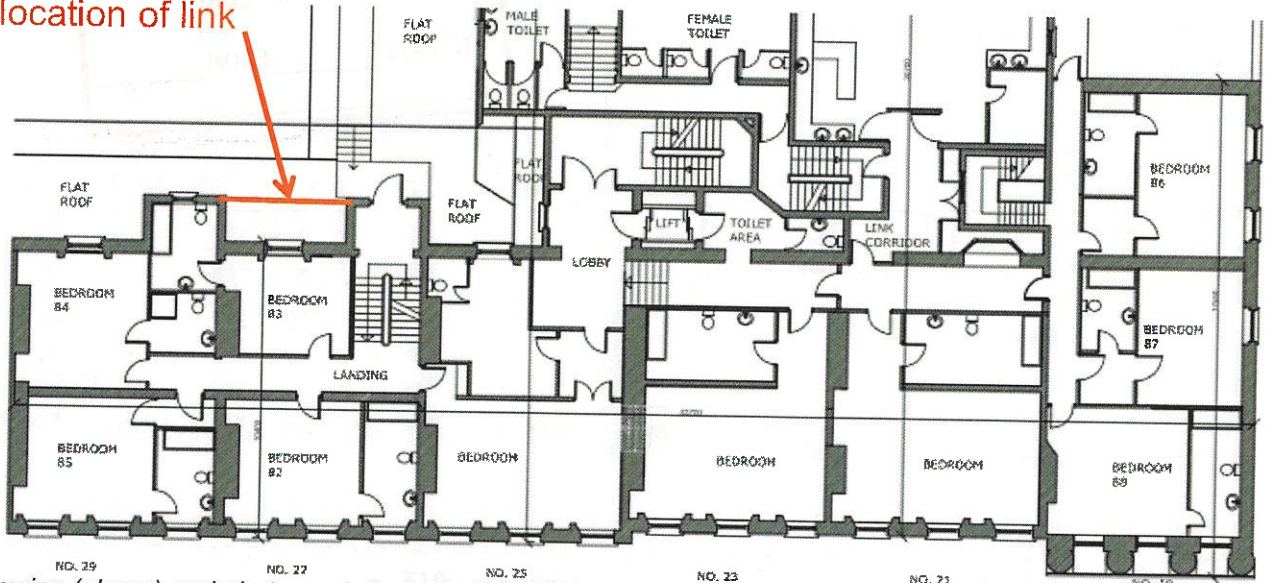


view of no.29 looking to the front façade prior to the works

C): Works to the exterior of the protected structures:

C)(i): The corridor along the rear of no.25 Morehampton Road, which allows connection of nos.27 and 29 Morehampton Road to the lift at first floor level. The link corridor is to the rear of a bathroom and serves to increase the ease of access for guests of the hotel. There are no elements of historical interest in this area. The alterations to the rear façade that result from this link are imperceptible, given the set back from the back wall of the 20th century single storey structure to the original back wall at upper floor levels of the protected structure.

location of link



Drawing (above) and photograph (below) of the position of the link corridor to the rear of no.25

location of link



Assessment: The first floor link obscures part of the rear façade of no.25. That concealed section was barely visible prior to the current works and the link works for which exemption is sought is reversible. Furthermore, as the link is not visible from the front exterior of the building, it does not materially affect the character of the protected structure.

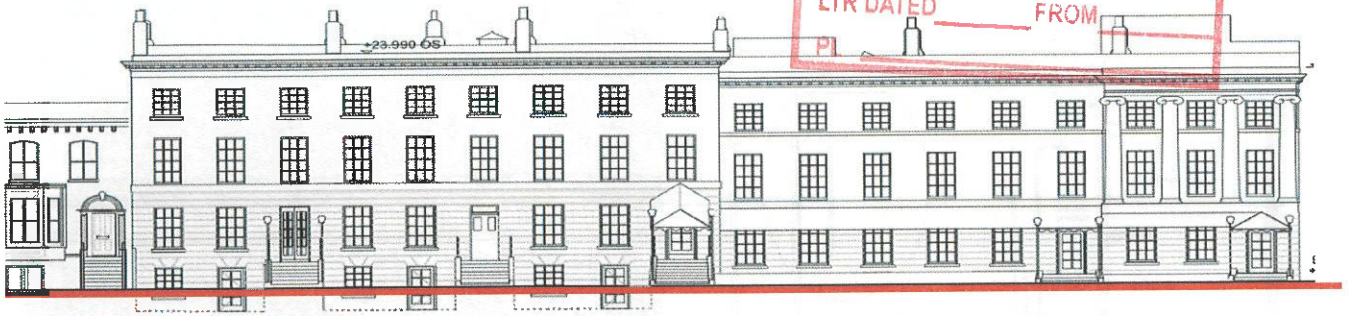
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Front elevation in 2008

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PI _____



Front elevation in 2017 (with railings to nos.25, 27 & 29 omitted from the drawing for clarity)



view of the buildings in 2008 from Morehampton Road

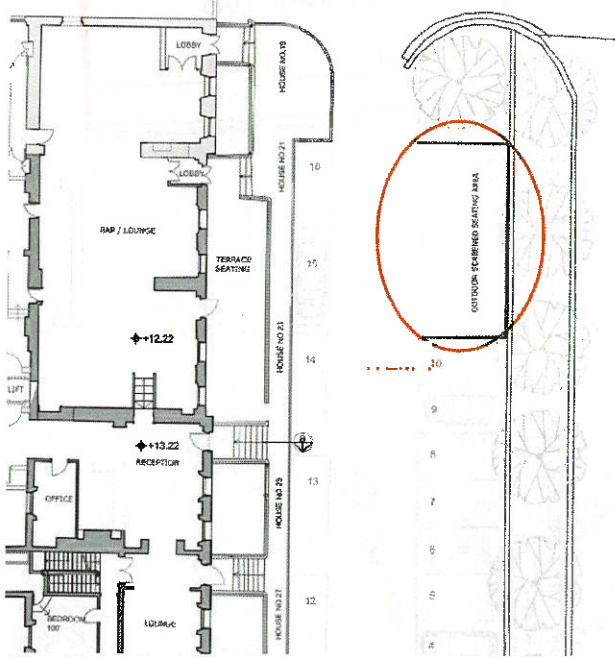


view of the buildings in 2017 from Morehampton Road

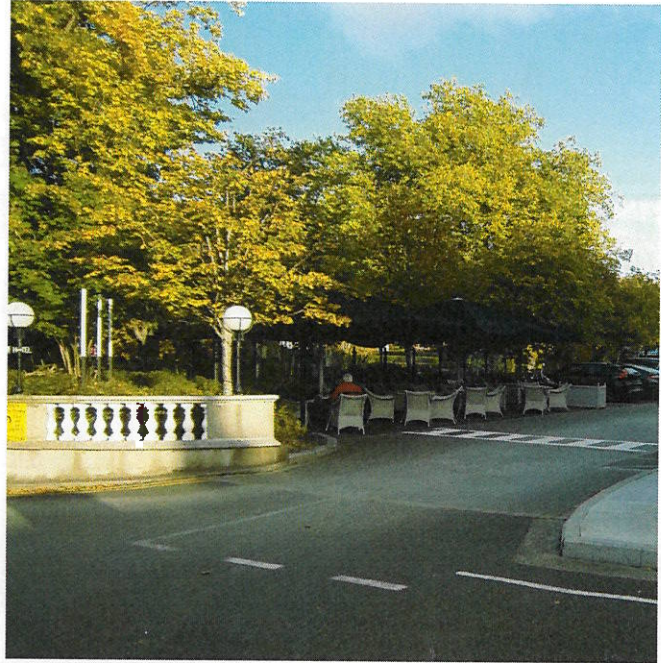
Assessment: The photographs and drawings above compare the basement façades in 2008 with the altered façades in 2017 and clearly show the minimal effect of the works. While there is no evidence to indicate the exact disposition of the earlier historic fabric, the joinery that has been inserted has been sympathetically carried out and has an authenticity so as to not materially affect the character of the protected structure. The re-use of the areas to the front of the three structures is a positive improvement.

C)(iii): The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

There is more than adequate off-street car-parking for the hotel use of the buildings, both as regards Development Plan standards and practical use of the allocated spaces. The re-use of four car-parking spaces to the front of no.21 Morehampton Road as an outdoor seating area is, in our opinion, far better for the frontage than its previous use for cars. The nature of this element is as a landscape intervention more than anything else. The area in question is across the roadway from the protected structures and is set behind the stone balustrade that forms the public edge of the architectural set-piece of the terrace. Other than its animation in use, it is unobtrusive and has no impact on the protected structures.



Plan of landscaped area



view of the landscaped area outside no.21, looking south



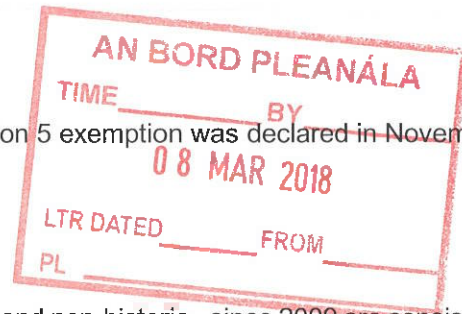
view of the terrace in 2008, with the car-parking area outside no.21 Morehampton Road to the right hand side



view of the terrace in 2017, with landscaped area outside no.21 Morehampton Road to the right hand side

Assessment: The photographs above compare the setting of the protected structures in 2008 and in 2017. It is clear that the effect of the landscaping is minimal and that the re-use of the area to the front of no.21 Morehampton Road is a positive improvement compared with its use for parking cars. The area is well screened and is laid out so that it does not materially affect the character of the protected structure or its setting. It is noteworthy that the impact of this element is considerably less than the impact of the removal and

replacement of trees to the front of the premises, for which a Section 5 exemption was declared in November 2008 by Dublin City Council – Register Reference 0576/08.



3. Summary

The works that have been carried out to the buildings - both historic and non-historic - since 2009 are consistent with its use as a hotel. In the context of the overall use of the existing structures and the site, the nature of the works is relatively minor.

The four elements of work to the historic structure [Items 1(a), 1(c), 2(c) and 3] do not, in our opinion, materially affect the character of the protected structure or any element of it that contributes to its special interest.

Similarly, the five elements of the work to the 20th / 21st century parts of the premises [Items 1(b), 1(d), 2(a), 2(b) and 4] are, in our opinion, internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

For these reasons, we respectfully ask that the board view the works as: *“development consisting of works for the maintenance, maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures”* [Section 4(1)(h)];

and:

as works which do: *“...not materially affect the character of- (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific social or technical interest.”* [Section 57(1)(a) and (b)].

We attach a cheque in the sum of € 220.00 as well as the entirety of our submissions to Dublin City Council, so that An Bord can get a full overview of the questions relating to the Section 5 declaration and referral.

Yours faithfully,

Robin Mandal
Director
Robin Mandal Architects

ENCL: Cheque for € 220.00; original Section 5 Application and response to the subsequent request for Additional Information, including the decisions by Dublin City Council.

ORIGINAL SECTION 5 APPLICATION

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____

AN BORD PLEANÁLA

TIME _____ BY _____

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

08 MAR 2018

CONSERVATION ASSESSMENT OF THE WORKS CARRIED OUT TO PARTS OF
HAMPTON HOTEL, 19, 21, 23, 25, 27 AND 29 MOREHAMPTON ROAD, DUBLIN 4

LTR DATED _____ FROM _____



Morehampton Road elevation of hampton hotel

This report has been carried out Robin Mandal Architects on behalf of Genport Limited, the applicant for the Section 5 Declaration, at the request of PCL Halpenny, Solicitors

It has been prepared as part of an application for a declaration on exemption for works that have been carried out to the buildings, which are protected structures.

Robin Mandal Architect, B. Arch., M. Arch. Sc., F.R.I.A.I., R.I.B.A., A.R.B.U.K., Chartered Architect
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INTRODUCTION

This report is set out as part of an application for a Section 5 Declaration for works carried out at 19 - 29, Morehampton Road, Dublin 4, hampton hotel.

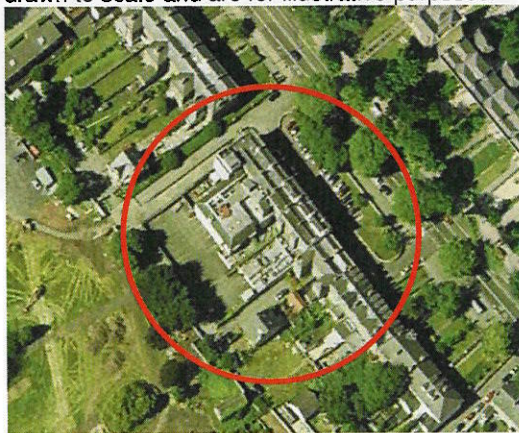
The buildings are Protected Structures under the Dublin City Development Plan 2016-2022. The reference number on the Record of Protected Structures is 5304 and they are referred to as a hotel.

The photographs included in this report serve to illustrate the building. This report does not seek to give a detailed historical assessment or description of the buildings.

The buildings were comprehensively renewed in the 1970s, and subsequently in the 1980s, such that the majority of the interiors of the buildings dated substantially from that time. Having fallen into disrepair the building was refurbished and reopened as a hotel in the February 2009. During 2007 and 2008, works to the hotel were the subject of Section 5 declarations by Dublin City Council as well as a grant of retention planning permission for minor works carried out during the refurbishment.

This report seeks to describe works that have been carried out to the hotel in the intervening decade. It seeks to assess the impact of those works on the character of the protected structure and to demonstrate that the works do not materially affect the character of the protected structure. It also serves to act as a photographic record of the buildings in their current state of the changes that have been made.

The plans attached are provided to act as a key to the works that have been carried out. They are drawn to scale and are for illustrative purposes.



aerial view of Nos. 19 – 29, Morehampton Road

DESCRIPTION

The buildings are three-storey (over semi-basement at Nos.25, 27 and 29), three-bay structures, constructed of rendered masonry with a deeply lined ground storey. Windows to the front are generally six over six vertically sliding sashes, and each building is capped by a heavily moulded parapet, behind which are a series of double-A pitched, slated roofs.

Nos. 21 and 23 are set back from the other houses, thus forming a breakfront for No.19, which has an engaged colonnaded Ionic first and second floor. Nos.25, 27 and 29 also form a breakfront, possibly as the centerpiece of what may have been conceived as a 'palace' type terrace. Its style is regency, although it was built some time after that period.

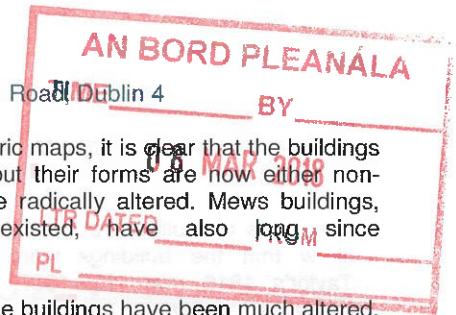


front elevation of Nos.19 – 29, Morehampton Road



front elevation, looking north

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



front corner, looking south west



front elevation, looking southwards



Morehampton Road, looking north west

The first three houses were constructed circa 1830, with the remaining three constructed between 1850 and 1876.

The side of the building at No.19 was designed to end the terrace, and to be visible from the public roadway.



corner of No. 19, looking south to front landscape

From the historic maps, it is clear that the buildings had returns, but their forms are now either non-existent or are radically altered. Mews buildings, which had existed, have also long since disappeared.

The rears of the buildings have been much altered, and are rendered in a recent render, probably dating from the 1970s.



rear elevations of the buildings

Modern buildings have been added to the rear of the hotel in the late 20th / early 21st century. These recent buildings are generally of concrete with sand and cement renders.

The rear of no.19 was reconstructed in reinforced concrete in the 1970s, following a fire. It currently contains the water tanks for the hotel in steel tanks on the roof.



rear elevation of the function room

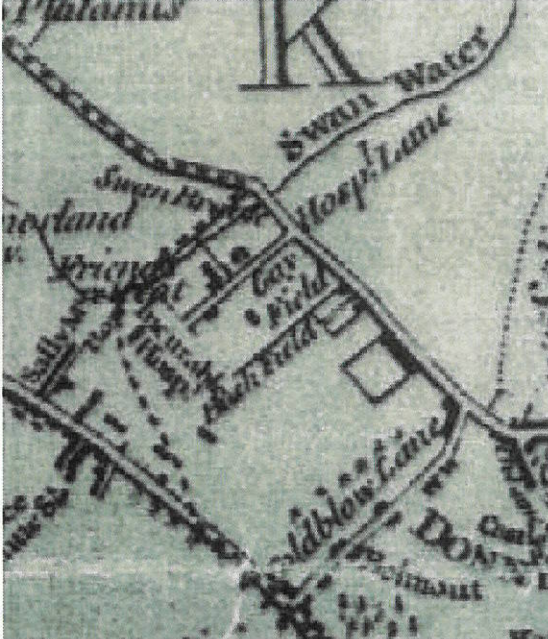
Internally, the buildings have been much altered. It is not intended to record or describe them in detail in this report, as the subject matter of the section 5 application is limited to those elements that are photographed and described in detail below.

The plan forms are recorded in the survey drawings that are appended to this report. Nos.19 to 25 have been altered most over the years, and Nos. 27 and 29, as the last houses to be built and as the last to be incorporated into the hotel, were altered later than the remainder of the other buildings.

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

HISTORICAL MAPS

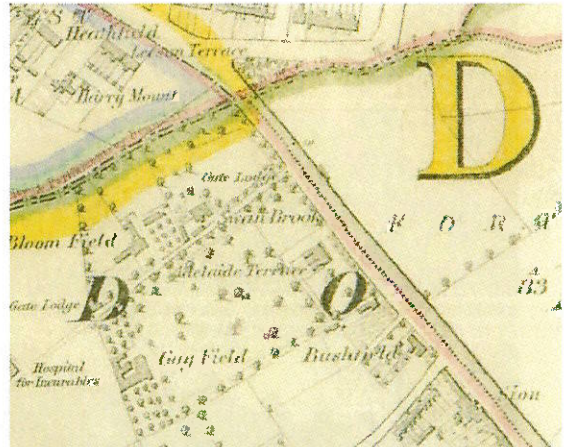
The maps consulted are illustrated below. They show that the buildings were not visible in Taylor's 1816 map. By 1837, the first three houses are visible.



1816, Taylor's map, with no structures in the area



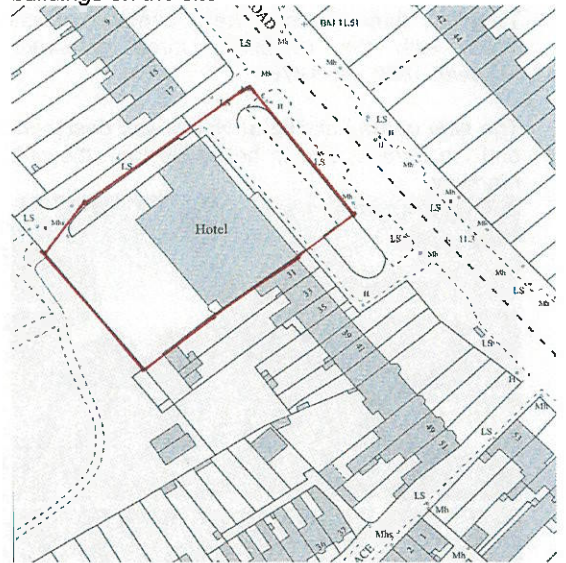
First edition O.S., showing the first three buildings, Nos. 19, 21 and 23, called Adelaide Terrace



colour version of 1837 O.S. map



1876 Ordnance Survey, showing all of the buildings on the site



1992 Ordnance Survey map

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

In the 1837 O.S. map, the houses are called 'Adelaide Terrace', named after the consort of King William IV, Queen Adelaide. Three of the houses have been built. They have long returns to the north of each house. These returns do not remain.

In the 1876 Ordnance Survey map, eight houses have been constructed, but the southern two, as we know, were constructed in red brick, and did not form part of the originally conceived terrace. By this stage, all of the applicant houses have mews buildings, with the exception of no.19.

The first houses across Morehampton Road have been constructed, called Morehampton Terrace. A landscaped area has been set out to the front of Morehampton and Adelaide Terrace.

By 1907, the returns have disappeared from the maps (possibly a drafting error), except for nos.19 and 21, which have been amalgamated, and the houses to the north of Adelaide Terrace have been constructed. By this date, Herbert Park had been set out and there was more development on Morehampton road.

Later (1937) maps show that the returns remain at numbers 19, 21 and 23, but that they have been removed from numbers 25, 27 and 29. All of the houses have mews buildings at this stage.

In the mid twentieth century, numbers 21, 23 and 25 were joined together to form the Morehampton Hotel and the boundary walls between them were removed. In the latter part of the twentieth century all six houses were amalgamated. The hotel was called 'Sachs Hotel' from the mid 1970s. It is now called 'hampton hotel'.

As can be seen from the buildings themselves, as well as the maps, the original design for the entire terrace was to be a regency style palace fronted series of houses. The current numbers 25, 27 and 29 (constructed c.1850) form a breakfront element. Nos. 21 and 23 are recessed as a link wing, and number 19 is designed as a giant order Ionic façade. These three earlier buildings (constructed c.1830) would probably have been reflected to the south of nos. 25, 27 and 29. However, given that they were all constructed after the period to which their design refers, it would probably have been unlikely for the entire terrace to have been completed as originally intended.

A similar scheme on Harcourt Terrace in Dublin was completed (c.1840), with central, higher houses with pairs of semi-detached houses on either side. Adelaide Terrace was never completed as designed, so it appears somewhat one-sided. Other Georgian cities produced similar schemes, but they were carried out considerably earlier.

AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

DESCRIPTION OF THE WORKS

LTR DATED _____ FROM _____

The works since 2009 to the protected structures are clearly indicated on drawing numbers 1723-S5-001 to -005. They consist, in essence, of internal works and works that allow the reinstatement of the bedroom use, and do not materially affect the character of the historic parts of the structure or any element contributing to its special interest.

The works that have been carried out to the 20th / 21st century non-historic parts of the hotel are similarly internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

The works that are the subject of this Section 5 application are as follows, and are numbered in accordance with the drawings and with the descriptive photographs below. A brief description of the reason for these works is included.

1: Basement Floor:

- (a) Reinstatement of rooms in the historic structure as 3no. bedrooms: The basement area of the historic structure had been opened up in the past to allow for functions. This has now been reversed so that there are now three suites on the line of the three original buildings. This has helped to restore the plan form of the original structure and does not materially affect the character of the historic parts of the structure.
- (b) Conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms: While not located in any part of the historic structure, the use of this floor area as bedrooms is more appropriate to the hotel use and these internal works do not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (c) Reinstatement of windows and insertion of doors in former opens to the front façade of the historic structure of 25, 27 and 29 Morehampton Road: These windows and doors are located in the formerly blocked up openings at basement level. They have helped to reinstate the character of the basement façades and do not materially affect it.

- (d) Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure: These insertions are not within the historic parts of the building and do not materially affect the external appearance of the structure so as to render the appearance inconsistent.

2. Ground Floor:

- (a) Relocation of existing fire escape, including partial roofing: This escape route replaces one which was closer to the main function room and is above the single storey 20th / 21st century structure and beyond the footprint of the historic structure. It improves the fire safety of the building and does not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (b) Modification of the first flight of the existing fire escape stairs from the main function room: The alteration here is that the first flight of the dog-leg stairs has been changed to two flights, with a quarter landing. This is also located at the rear of the 20th / 21st century structure, outside the historic structure and does not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (c) Reinstatement of 29 Morehampton Road to two rooms, used as bedrooms. This has helped to restore the plan form of the original structure and does not materially affect the character of the historic parts of the structure.

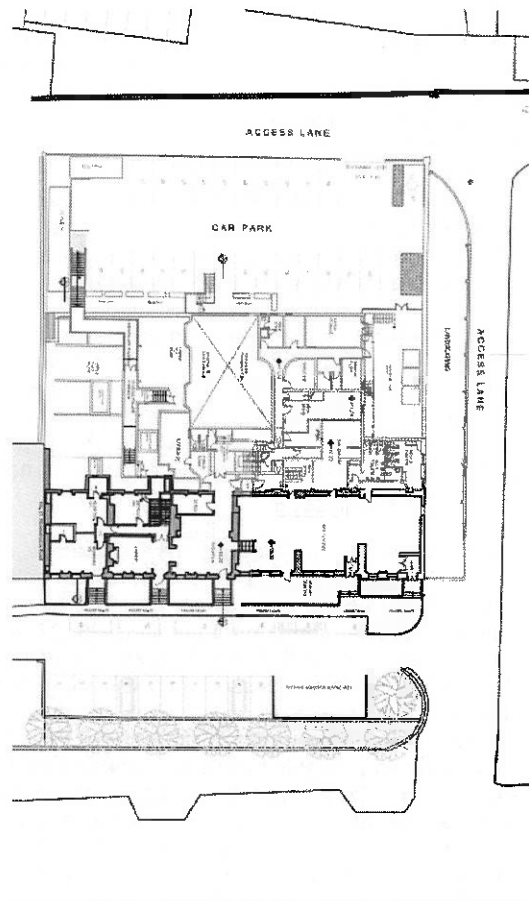
3. First Floor:

Construction of a 1.2 metre wide corridor across the rear of 25 Morehampton Road: This single-storey link is located outside the historic structure. It serves to allow access to nos.27 and 29 from the lift to the rear of no.25. Given the relocation of the fire escape at ground floor level, this first floor element is not visible. Being outside the historic structure, it neither materially affects the character of the historic parts of the structure nor does it materially affect the external appearance of the 20th century structure so as to render the appearance inconsistent.

4. External Landscaping:

The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens: This layout uses surplus car parking spaces to the front of the hotel to allow for an outdoor seating

area behind the stone balustrade to Morehampton Road. At present there are 40 car parking spaces, 16 to the front area and 24 to the rear. The hotel is located in Zone 2 for car parking under the Dublin City Development Plan. This requires one car parking space for every three rooms. At the thirty-nine rooms that the hotel currently has, the requirement is for 13 spaces only. It is clearly a better use of the space to the front of the historic structure that it be used as a social space for visitors to the hotel. It does not materially affect the character of the historic parts of the structure nor does it materially affect the external appearance of the 20th century structure so as to render the appearance inconsistent.



diagrammatic ground floor plan of the site

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 8 MAR 2018

AN BORD PLEANÁLA
 TIME _____ BY _____
 08 MAR 2018

PHOTOGRAPHIC RECORD OF THE WORKS

1: Basement Floor:

(a) Reinstatement of rooms in the historic structure as 3no. bedrooms.



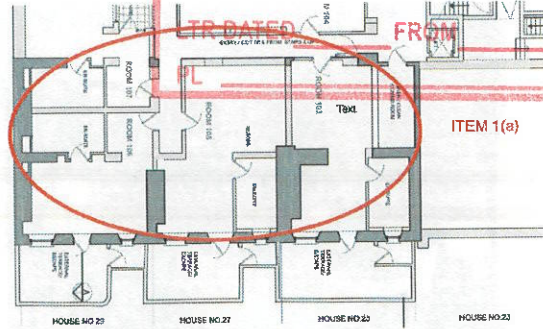
room 103 looking to front



room 105 looking to front

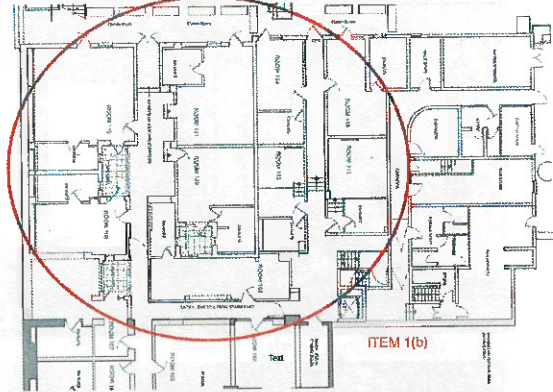


room 106 looking to front



sketch plan of area 1(a)

(b) Conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms.



sketch plan of area 1(b)



room 104 looking north



room 107 looking south

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



room 108 looking south



room 109 looking north



room 110 looking south



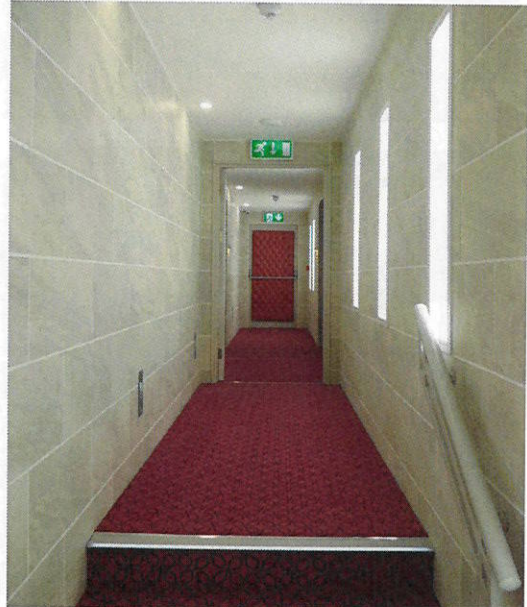
room 111 looking north



southern corridor looking east



lift shaft



northern corridor, looking west

AN BORD PLEANÁLA
 TIME _____ BY _____
08 MAR 2018
 LTR DATED _____ FROM _____

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- (c) Reinstatement of windows and insertion of doors in former opes to the front façade of the historic structure of 25, 27 and 29 Morehampton Road.



room 112 looking north



room 113 looking south



room 114 looking south west



room 115 looking west



window and door at basement of no.29



window and door at basement of no.27



window and door at basement of no.25



sketch of front elevation (before and after) – 1(c)



Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- (d) Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure.



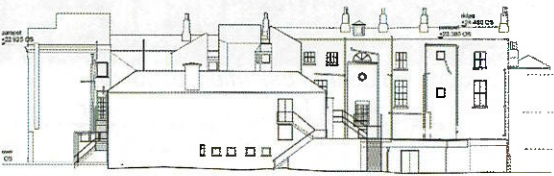
new windows and doors in rear elevation



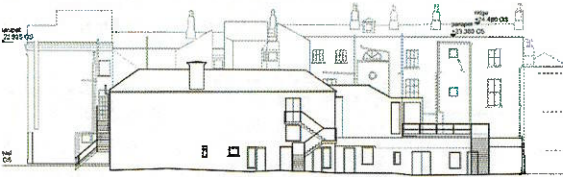
new windows and doors in rear elevation – 1(b)



sketch plan showing openings



sketch of rear elevation (before and after) – 1(b)

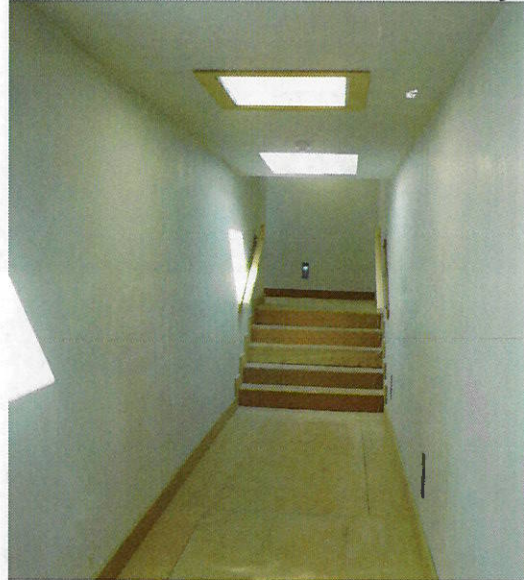


2. Ground Floor:

- (a) Relocation of existing fire escape, including partial roofing



view of the fire escape route and stairs to the right



view of fire escape corridor looking east

- (b) Modification of the first flight of the existing fire escape stairs from the main function room.

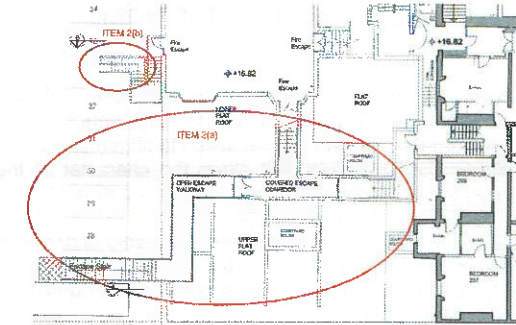


view of the last leg of the fire escape

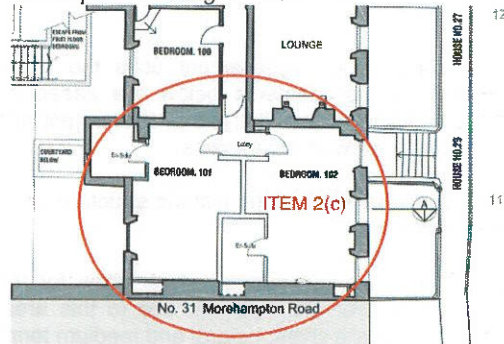
Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

3. First Floor:

Construction of a 1.2 metre wide corridor across the rear of 25 Morehampton Road.

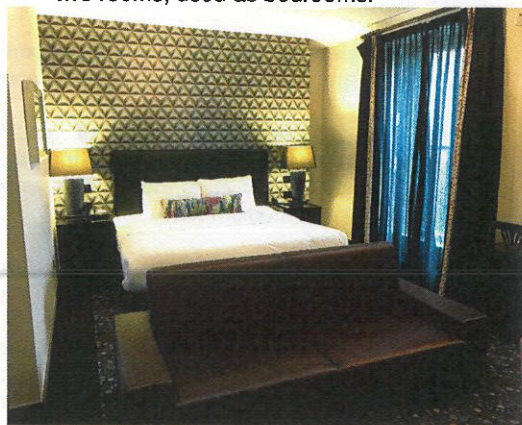


sketch plan showing routes -



sketch plan of area 2(c)

(c) Reinstatement of 29 Morehampton Road to two rooms, used as bedrooms.



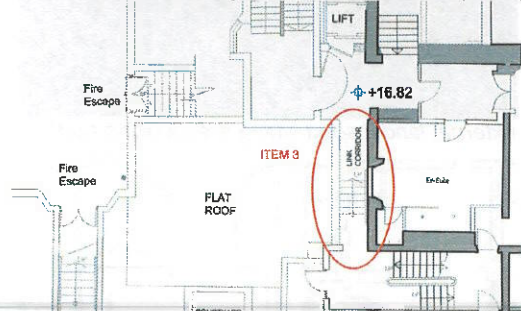
room 101 looking south



room 102 looking east



view from half-landing of no.27 towards lift (north)



sketch of first floor corridor - 3

4. External Landscaping:

The landscaping of 4no. redundant car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.



external landscaped sitting area

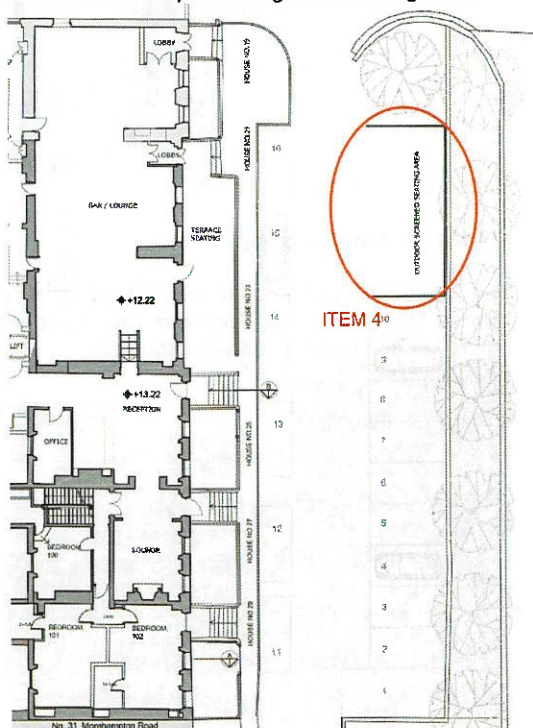
ASSESSMENT OF THE WORKS



external landscaped sitting area looking south



external landscaped sitting area looking north



sketch plan of area 4

Note: The terms used below are defined as follows:

Long-term: Impact lasting fifteen to sixty years.

Medium-term: Impact lasting seven to fifteen years.

Moderate: An impact that alters the character of the environment in a manner that is consistent with existing and emerging trends.

Slight: An impact which causes noticeable changes in the environment without affecting its sensitivities.

Neutral: A change which does not affect the quality of the environment.

Positive: A change which improves the quality of the environment.

This conservation assessment uses the terms above. The assessments below are based on those definitions, the analysis of the project and the author's view of the impacts.

The works involved to the historic structure since 2009 consist of:

1(a): The basement works, which allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;
 1(c): The works to the front façades, which also allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;

2(c): The reinstatement of no.29 to two rooms. This work is slight, neutral and medium term; and

3: The corridor along the rear of no.25 Morehampton Road, which allows for the connection of nos.27 and 29 to the lift. This work is slight, neutral and medium term.

All of the works described above are reversible, in accordance with the charter of Venice. They impact on elements of the structures that are not, in the author's opinion, of any special interest and have been carried out in areas of the historic structure that had no extant elements of special interest.

In the author's opinion, the works to the historic structure described above do not materially affect the character of the historic parts of the structure or any element contributing to its special interest.

The works involved to the 20th / 21st century structure since 2009 consist of:

1(b): The conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms. These works are moderate, neutral and medium term;

1(d): Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

single storey structure. These works are slight, neutral and medium term;

2(a): Relocation of existing fire escape, including partial roofing. These works are moderate, neutral and medium term;

2(b): Modification of the first flight of the existing fire escape stairs from the main function room. This work is slight, neutral and medium term; and

4: The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens. These works are slight, positive and short to medium term;

In the author's opinion, the works to the 20th / 21st century structure described above consist of internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure. As with the works to the historic parts of the structure, they too are reversible.

SUMMARY

The works that have been carried out to the buildings - both historic and non-historic - since 2009 are consistent with its use as a hotel. In the context of the overall use of the existing structures and the site, the nature of the works is relatively minor.

The four elements of work to the historic structure [Items 1(a), 1(c), 2(c) and 3] do not, in the author's opinion, materially affect the character of the protected structure or any element of it that contributes to its special interest.

Similarly, the five elements of the work to the 20th / 21st century [Items 1(b), 1(d), 2(a), 2(b) and 4] are, in the author's opinion, internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

Robin Mandal

28th September 2017



hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

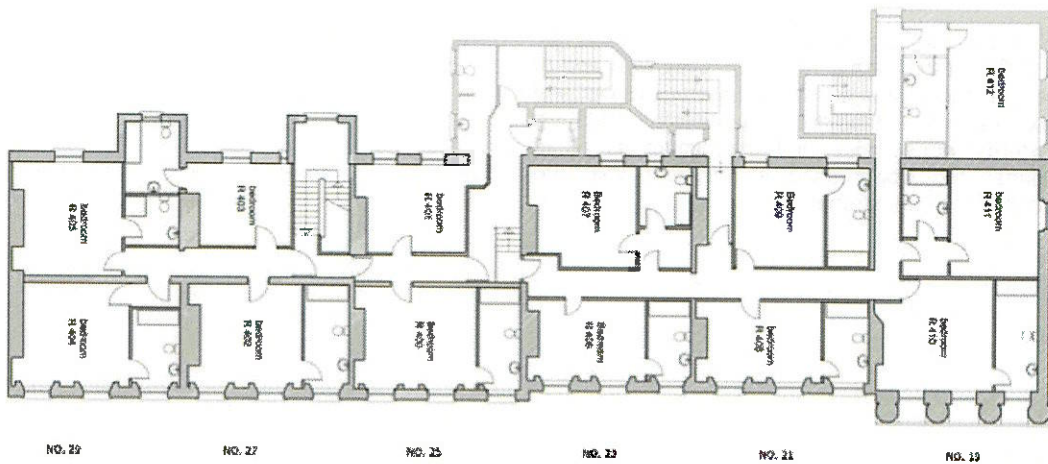
SURVEY DRAWINGS PRIOR TO 2009 INCLUDED FOR ILLUSTRATIVE PURPOSES



Roof plan and site plan

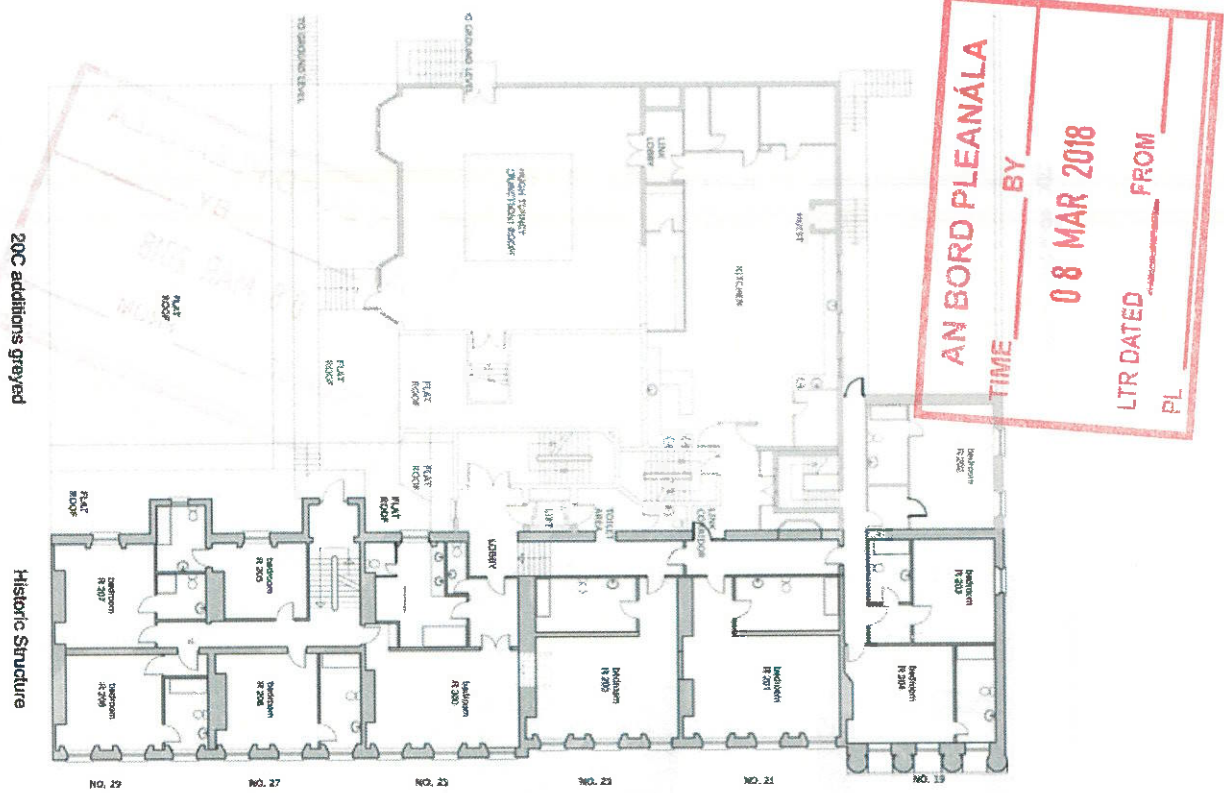
20c additions greyed

Historic Structure

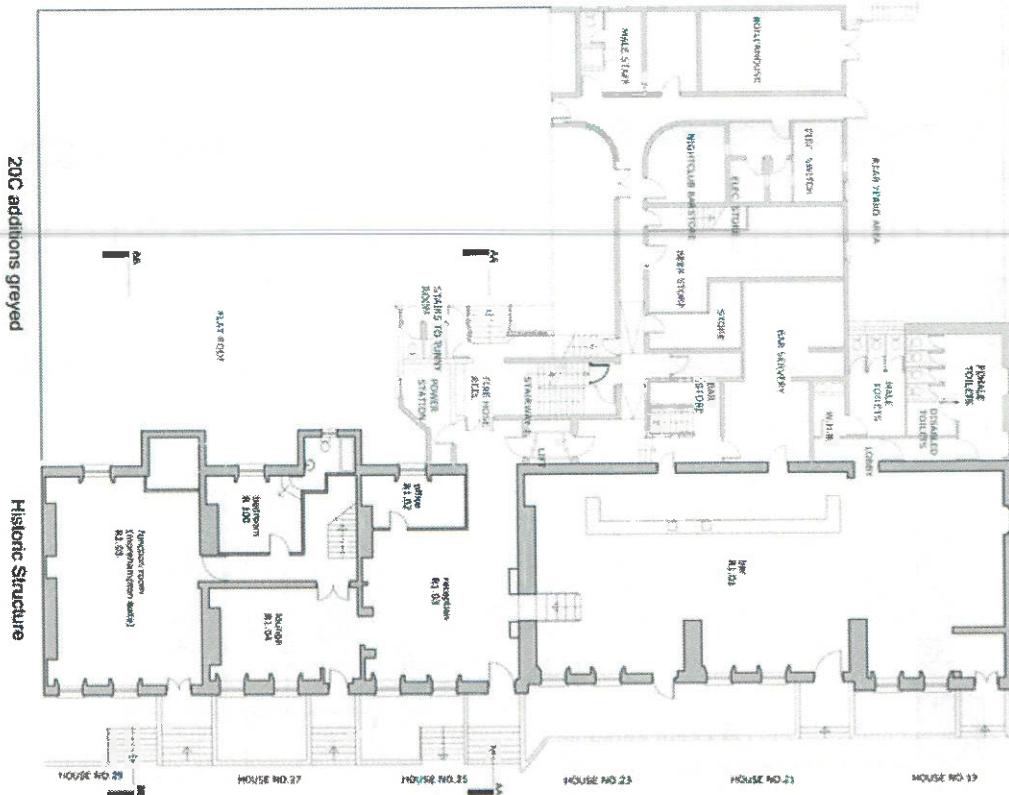


Second floor plan

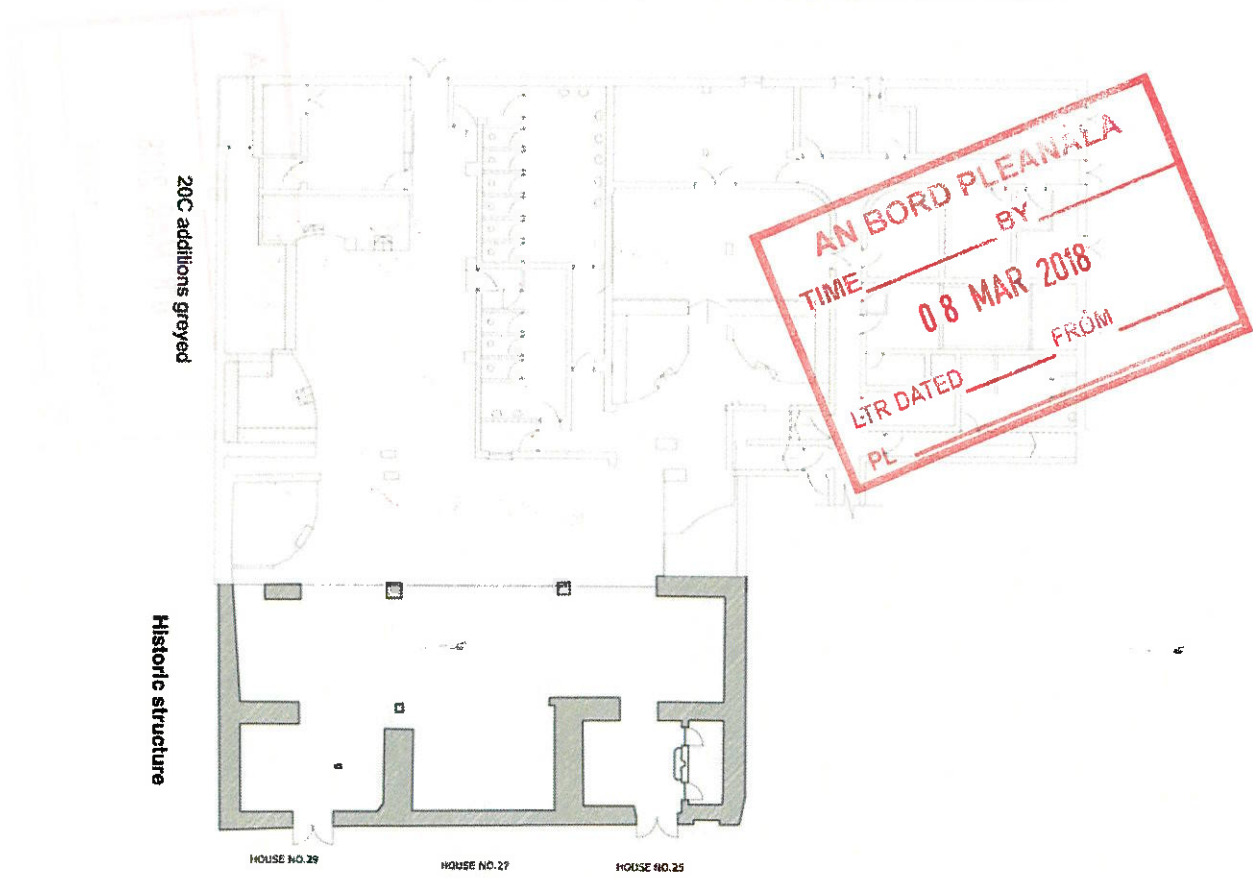
hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



First floor plan (above), and ground floor plan (below)



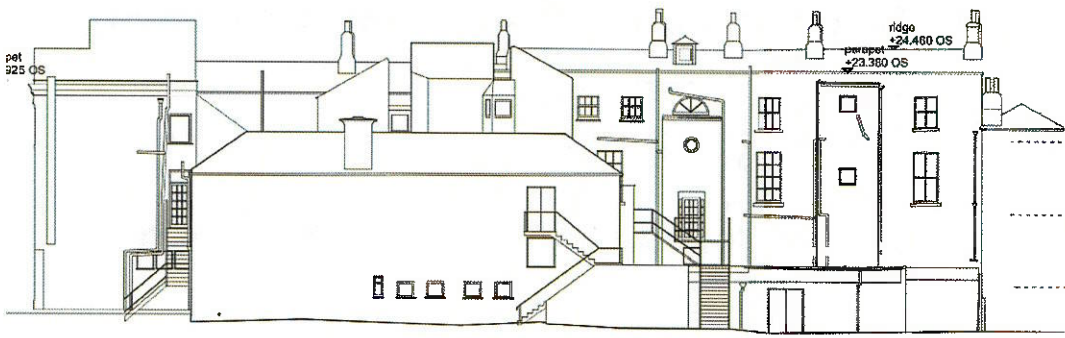
hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



Basement floor plan



Front elevation



Rear elevation

Urban PLACE Map



First Edition 2006
 Last Edition 1983-1992

232140

ITM CENTRE PT. COOR
 717072,732036

DESCRIPTION

MAP SHEETS

1:1000
 3264-22 3329-02



Produced by
 National Map Centre,
 34 Aungler Street,
 Dublin 2
 On behalf of Ordnance
 Survey Ireland,
 Phoenix Park, Dublin 8.

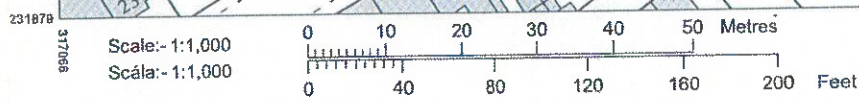
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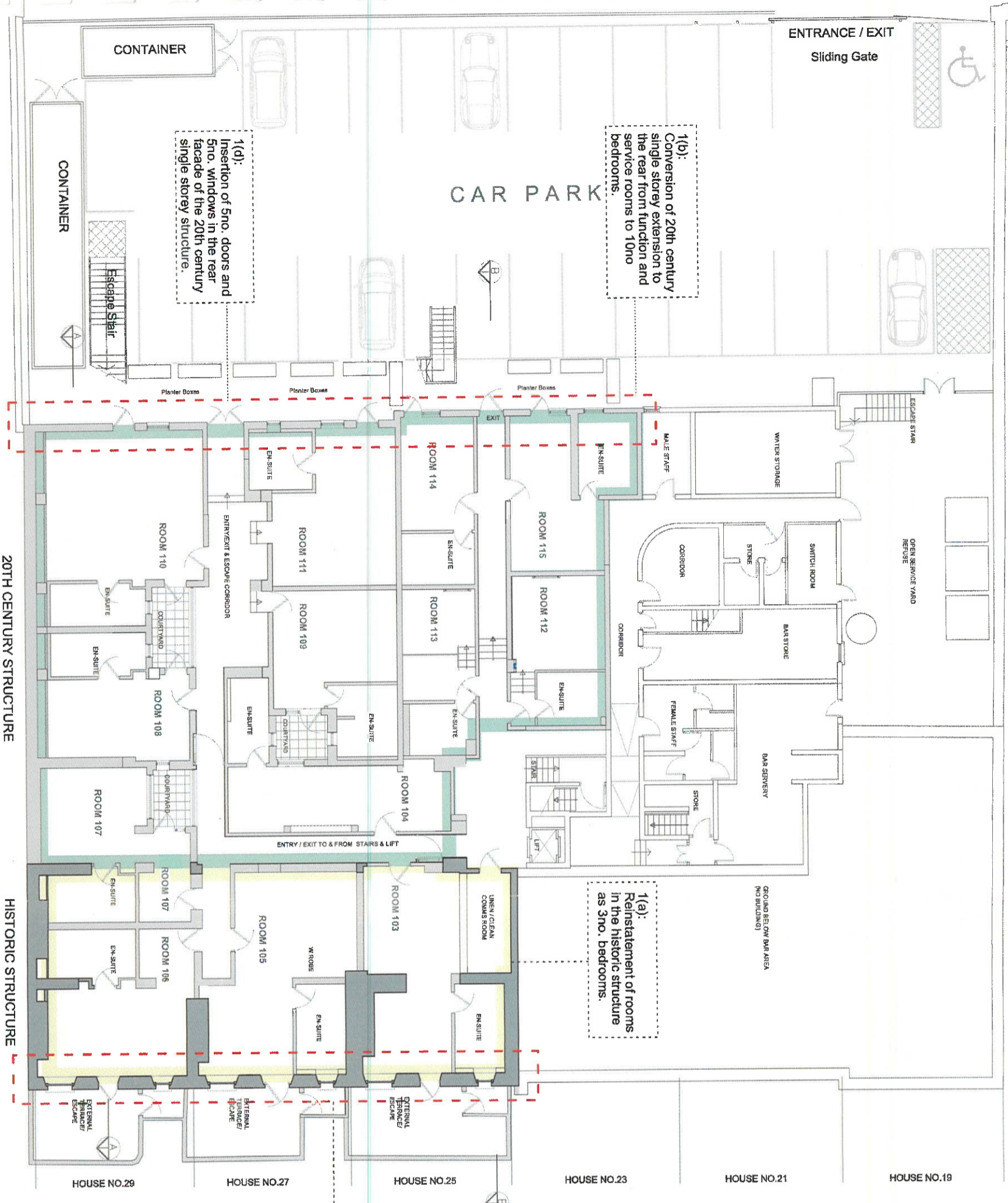
AN BORD PLEANÁLA
 TIME BY
 08 MAR 2018
 LTR DATED FROM
 PL



Plot Ref. No. 1178651_1_3
 Plot Date 05-JAN-2007



LANDSCAPING



1(b):
Conversion of 20th century
single storey extension to
the rear from function and
service rooms to 10no
bedrooms.

1(d):
Insertion of 5no. doors and
5no. windows in the rear
facade of the 20th century
single storey structure.

1(a):
Reinstatement of rooms
in the historic structure
as 3no. bedrooms.

1(c):
Reinstatement of windows
and insertion of doors in
former opens to the front
facade of the historic
structure of 25, 27 and 29
Morehampton Road

AN BORD PLEANÁLA
TIME BY
08 MAR 2018
LTR DATED FROM
PL

ROBIN MANDAL ARCHITECTS
THE COURTYARD, 40 MAHA STREET
BLACKROCK CO. DUBLIN
T (01) 2796194
F (01) 2838823
E rma@robinmandal.ie

| | |
|--|----------|
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| DATE | DRAWN |
| SEPTEMBER 2017 | CS |
| SCALE | CHECKED |
| CAD FILE REF. | 1723 |
| NUMBER | REVISION |
| 1723-SS-001 | |
| <p>TITLE BASEMENT PLAN</p> | |
| <p>CLIENT GENSPORT LTD 18-20 MOREHAMPTON ROAD DUBLIN 4</p> | |
| <p>WORKS TO HAMPTON HOTEL</p> | |

ACCESS LANE

LANDSCAPING

4: The landscaping of 4no. under-used parking spaces to provide a seating area, including two umbrellas and transparent wind screens.



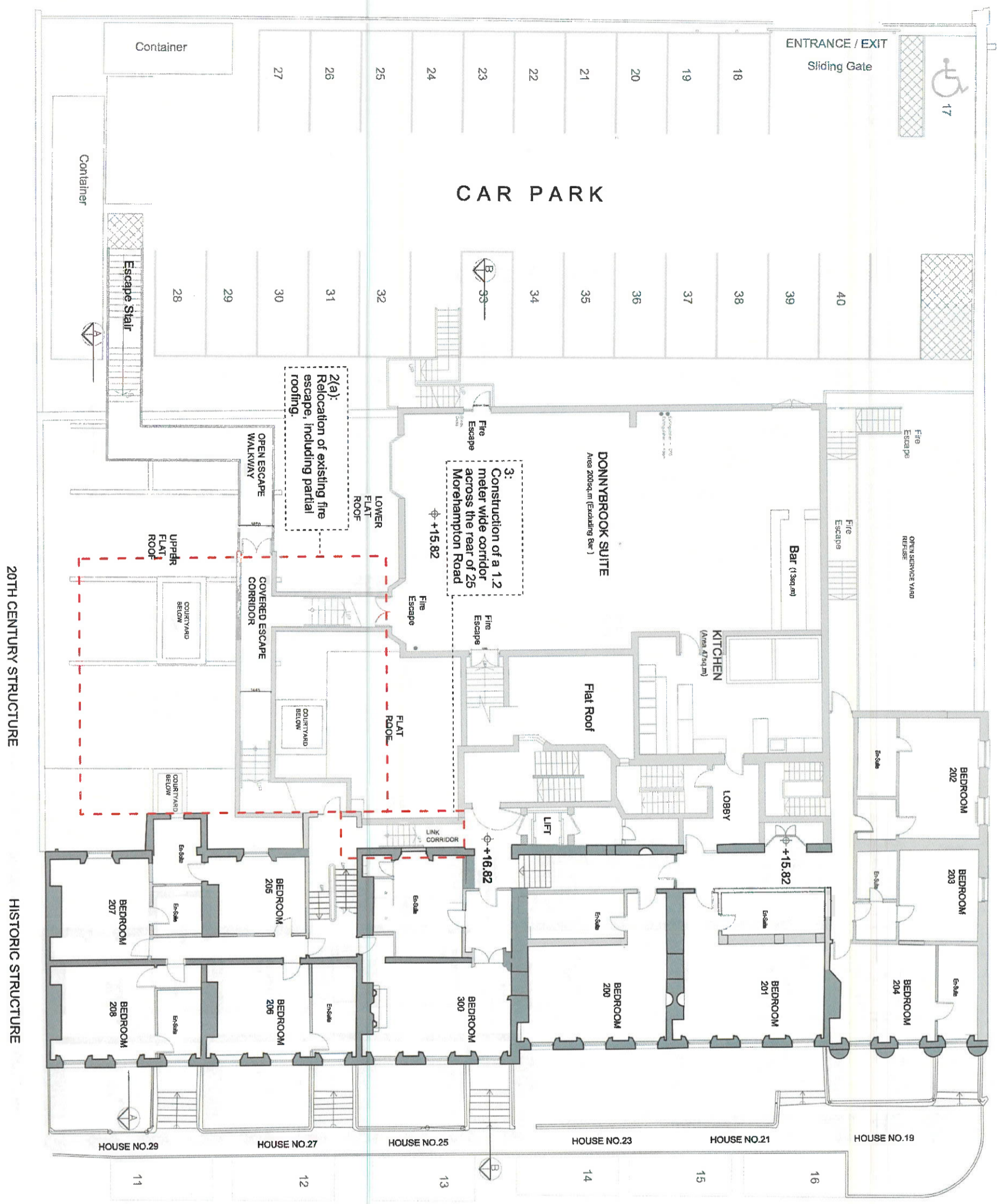
REVISIONS
THIS DRAWING IS COPYRIGHTED AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTS.
WORKING TO: MARITON HOTEL

CLIENT: GORNOFT LTD, 15-29 MOREHAMPTON ROAD, DUBLIN 4

TITLE: GROUND FLOOR PLAN

| DATE | SCALE | 1:250 | DRN | CS |
|----------------|-------------|----------|-----|----|
| SEPTEMBER 2017 | CHECKED | RM | | |
| CONTRACT REF: | NUMBER | REVISION | | |
| | 1723-S5-002 | | | |

ROBIN MANDAL ARCHITECTS
THE COURTYARD, 49 MAIN STREET, BLACKROCK COUNTY DUBLIN
T: (0)1 278 6164
F: (0)1 283 8923
W: www.robmandal.com
E: rmandal@robmandal.com



AN BORD PLEANÁLA

TIME BY
08 MAR 2018

LTR DATED FROM

PL

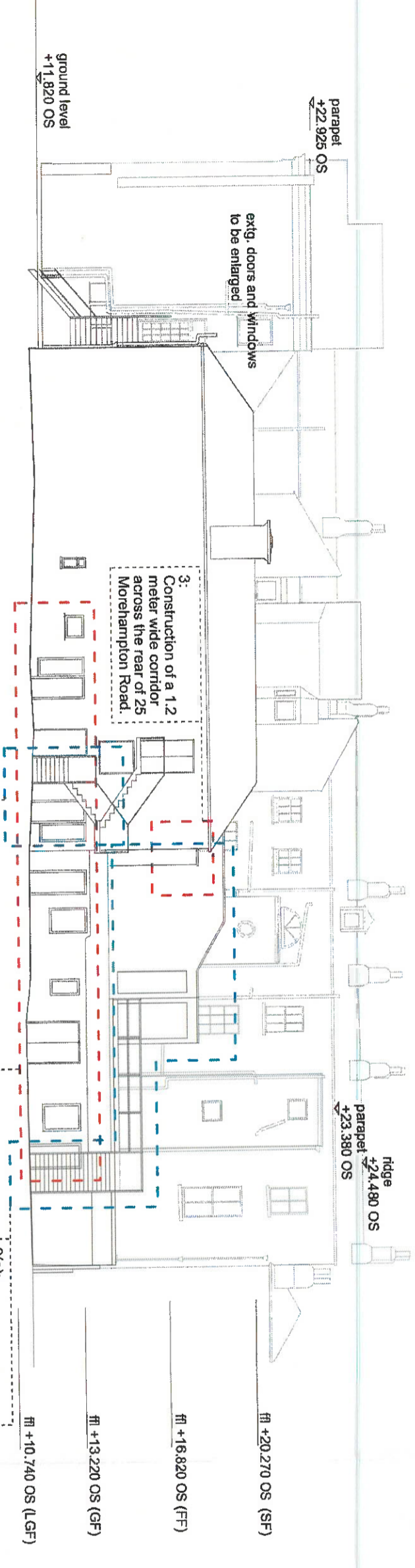
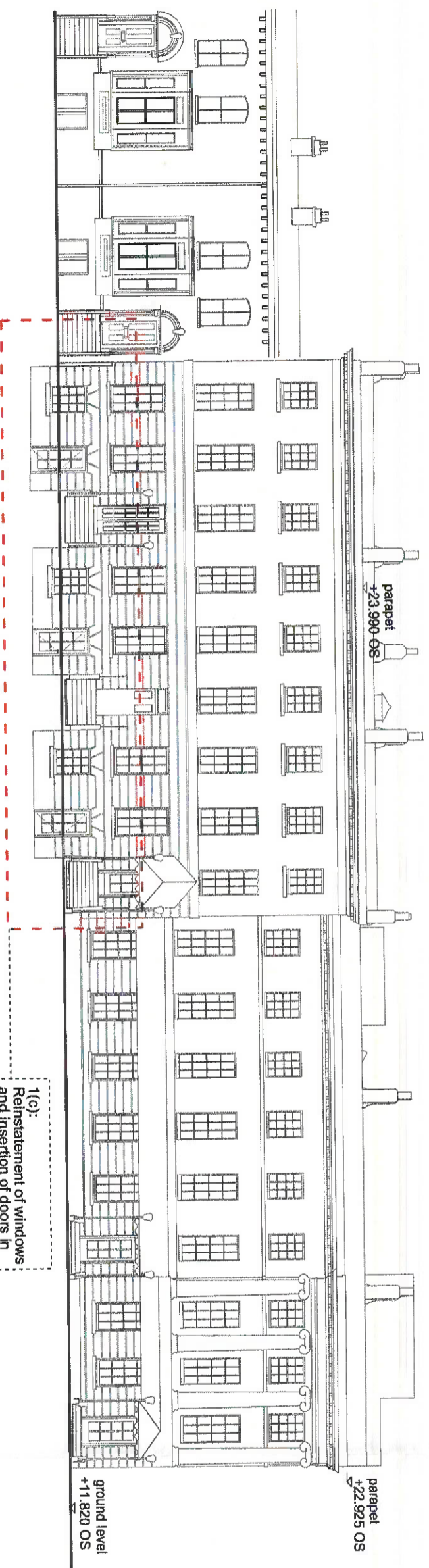
| | |
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| CLIENT | OMBERT LTD 16-29 MOREHAMPTON ROAD DUBLIN 4 |
| TITLE | FIRST FLOOR PLAN UPPER GROUND FLOOR PLAN |
| DATE | 27 FEBRUARY 2017 1723 |
| SCALE | 1:100 CAD FILE NO: 1723 |
| NUMBER | 1723-SS-003 |
| REVISION | |

ROBIN MANDAL ARCHITECTS

THE CORRYVANN, 49/50A STREET
 8 DAKYNOCK COUNTY DUBLIN
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 F (01) 2788199
 W www.robmandal.ie
 E rma@robmandal.ie

20TH CENTURY STRUCTURE

HISTORIC STRUCTURE



AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

LTR DATED _____ FROM _____

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 WORKS TO HAMPTON HOTEL

CLIENT
 GARDICOTT LTD
 1629 MOREHAMPTON ROAD
 DUBLIN 4

TITLE
 FRONT & REAR ELEVATIONS

| DATE | DRN | CHKD |
|----------------|-------------|----------|
| SEPTEMBER 2017 | CS | CHEERED |
| SCALE | 1:200 | NM |
| CAD FILE REF: | 1723 | |
| NUMBER | 1723-SS-005 | REVISION |

ROBIN MANDAL
 ARCHITECTS

THE COURT/YARD, 40 MAIN STREET
 BLACKROCK COUNTY DUBLIN

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 F (01) 283 6628
 W www.robmandal.ie
 E rme@robmandal.ie

3

ADDITIONAL INFORMATION REQUEST

AN BORD PLEANALA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____

8





Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

Clárlann / Cinntí Pleanála
An Roinn Pleanála agus Forbartha, Clárlann / Cinntí
Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Claithe 8
Registry T: (01) 222 2149 / F: (01) 222 2675
Decision T: (01) 222 2288 / F:
(01) 222 3097

02-Nov-2017

Dear Sir/Madam,

With reference to the above application, I am directed by the Assistant Chief Executive to formally request that you submit the following ADDITIONAL INFORMATION in accordance with Section 5 of the Planning and Development Act 2000 (as amended).

1. Evidence to the satisfaction of the Planning Authority in the form of documentation, drawings, plans, diagrams, photographs, research documents and/or other such material evidence, including the relevant planning history of the subject structures (grants of planning permission and Section 5 Declarations), with appropriate reference of sources and dates, regarding:

Basement:

- (a) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the 3 bedrooms at basement level to the structures at Nos. 25, 27 and 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.
- (b) Material evidence (including references and respective dates) as to the use and layout of the basement to the modern structure to rear prior to its use as a nightclub.
- (c) Material evidence (including respective dates) regarding the original/historic architectural details of the windows and doors in the front façade of the structures at Nos. 25, 27 and 29 Morehampton Road, and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

Ground Floor:

- (a) and (b) Location, layout and design of the fire escape (as approved by planning permission or Section 5 Declaration) prior to modifications illustrated on drawings at a scale of 1:200, including date(s) as appropriate.
- (c) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the ground floor of the structure at No. 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

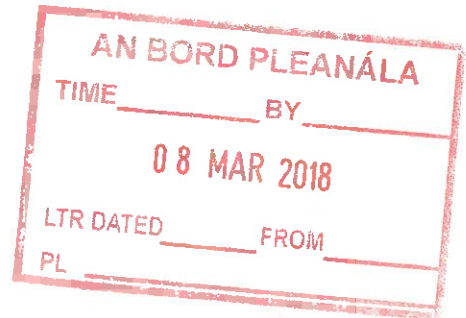
First Floor:

- (a) Layout and design of the first floor (as approved by planning permission or Section 5 Declaration) at the rear of No. 25 Morehampton Road prior to construction of corridor/modification.



02-Nov-2017

Robin Mandal Architects
The Courtyard
40, Main Street
Blackrock
Co. Dublin



| | |
|---------------------------|---|
| Application Number | 0375/17 |
| Registration Date | 04-Oct-2017 |
| Decision Date | 31-Oct-2017 |
| Decision Order No. | P3803 |
| Location Proposal | Hampton Hotel, 19-29, Morehampton Road, Donnybrook, Dublin 4 EXPP:PROTECTED STRUCTURE: |

1. Basement Level:

- Reinstatement of rooms in historic as 3 no. bedrooms;
- Conversion of single-storey 20th/21st Century former night club and service areas to 10 no. bedrooms;
- Reinstatement of windows and insertion of doors in 6 no. former opes to front facades of numbers 25, 27 and 29 Morehampton Road and
- Insertion of 5 no. doors and 4 no. windows into the rear facade of 20th/ 21st Century single-storey structure.

2. Ground Floor level:

- Relocation of existing fire escape, including partial roofing of the route,
- Modification to first flight of escape stairs from the function room and
- Reinstatement of the sub-division of no. 29 Morehampton Road as 2 no. bedrooms.

3. First Floor Level: Construction of a 1.2 m wide corridor across the rear of no. 25 Morehampton Road, and

4. External Landscaping: The landscaping of 4 no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

Applicant

Would the above be considered exempted development?
Genport Limited, c/o PCL Halpenny Solicitors



Comhairle Cáthrach
Bhaile Átha Cliath
Dublin City Council

Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

| | |
|-------------------------|------------|
| AN BORD PLEANÁLA | |
| TIME _____ | BY _____ |
| 08 MAR 2018 | |
| LTR DATED _____ | FROM _____ |
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Decision T: (01) 222 2288 / F:
(01) 222 3097

02-Nov-2017

(b) Conservation impact assessment at first floor of the works at ground floor to the fire escape including partial roofing

2. A written schedule of the full nature and extent of works carried out to the respective structures as generally described under Nos. 1 (a) to (d), 2 (a) to (c), 3 and 4, inclusive in this application, cross-referenced to drawings at an appropriate scale, together with a conservation impact assessment of same, having regard to the evidence to be provided under No. 1 above.

Please note that the effective lodgement date of your application will be the date on which this notice has been complied with.

Signed on behalf of the Dublin City Council

for Assistant Chief Executive

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____

REPORT ON WORKS CARRIED OUT TO PARTS OF THE
HAMPTON HOTEL, 19, 21, 23, 25, 27 AND 29 MOREHAMPTON ROAD, DUBLIN 4
IN RESPONSE TO A REQUEST FOR ADDITIONAL INFORMATION



view of Hampton hotel in 2008 (above) and 2017 (below) showing the effects of the S5 declaration subject works



This report has been carried out Robin Mandal Architects on behalf of Genport Limited, the applicant for the Section 5 Declaration.

It forms the response to a Request for Additional Information by Dublin City Council to the application for a Section 5 Declaration on Exemption, Register Reference 0375/17.

INTRODUCTION

This report to Dublin City Council forms the response to a request for additional information following an application for a Section 5 Declaration on exemption and supplements the report dated 28th September 2017. The Register Reference of the application is 0375/17.

The additional information request is in two parts. The first part seeks evidence regarding the original/historic layouts and details of the areas in which the works have been carried out accompanied by conservation assessments of those works. The second seeks a written schedule of the works together with a conservation impact assessment of those works.

The wording of the Additional Information request is as follows:

1. Evidence to the satisfaction of the Planning Authority in the form of documentation, drawings, plans, diagrams, photographs, research documents and/or other such material evidence, including the relevant planning history of the subject structures (grants of planning permission and Section 5 Declarations), with appropriate reference of sources and dates, regarding:

Basement:

(a) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the 3 bedrooms at basement level to the structures at Nos. 25, 27 and 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

(b) Material evidence (including references and respective dates) as to the use and layout of the basement to the modern structure to rear prior to its use as a nightclub.

(c) Material evidence (including respective dates) regarding the original/historic architectural details of the windows and doors in the front façade of the structures at Nos. 25, 27 and 29 Morehampton Road, and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

Ground Floor:

(a) and (b) Location, layout and design of the fire escape (as approved by planning permission or Section 5 Declaration) prior to modifications illustrated on drawings at a scale of 1:200, including date(s) as appropriate.

(c) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the ground floor of the structure at No. 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

First Floor:

(a) Layout and design of the first floor (as approved by planning permission or Section 5 Declaration) at the rear of No. 25 Morehampton Road prior to construction of corridor/modification.

(b) Conservation impact assessment at first floor of the works at ground floor to the fire escape including partial roofing.

2. A written schedule of the full nature and extent of works carried out to the respective structures as generally described under Nos. 1 (a) to (d), 2 (a) to (c), 3 and 4, inclusive in this application, cross-referenced to drawings at an appropriate scale, together with a conservation impact assessment of same, having regard to the evidence to be provided under No. 1 above.

The author's involvement with the buildings commenced in 2007 when appointed to act as architect for the roof repairs to the buildings. The author undertook a survey of the building at that time. There were earlier drawings of the buildings, but their veracity could not be checked. As part of this current process, the full planning history of the premises was researched at Dublin City Council and the Dublin City Council Archives in Pearse Street. No further evidence was forthcoming from those searches, which are recorded below.

It is important to note that, at the time of the author's appointment, there was very little of the original historic fabric remaining in what had been, up until the 1999 Planning and Development Act, a List 2 building. What remained of the historic fabric was assiduously protected from the time of the author's appointment, as evidenced by the reports accompanying the Section 5 and Planning Applications made under the Author's direction.

In 2007, the basement area had no elements of historic value other than the remnants of part of the plan forms, indicated by structural columns supporting the walls overhead. The ground floor of no.29 had been altered to the extent that there was no internal historic fabric intact. The other works at this level, namely the fire escapes, are located in the non-historic, 20th century extensions to the rear. At first floor level, the survey drawings, which the author undertook in 2007, illustrate the minor effect of the current alterations.

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road Dublin 4



view of the buildings in 2008



view of the buildings in 2017 showing the effect of the works for which the Section 5 application is being sought



view of the buildings in 2008



view of the buildings in 2017 showing the effect of the works for which the Section 5 application is being sought

RESPONSE TO THE REQUEST FOR ADDITIONAL INFORMATION

1. Evidence to the satisfaction of the Planning Authority in the form of documentation, drawings, plans, diagrams, photographs, research documents and/or other such material evidence, including the relevant planning history of the subject structures (grants of planning permission and Section 5 Declarations), with appropriate reference of sources and dates.....

The survey drawings carried out under the direction of Robin Mandal Architects, which record the building in 2009, are included in Appendix 1, at a scale of 1:200. These drawings show the buildings as they existed following the Section 5 Declarations and grants of Planning Permission made on foot of applications made by Robin Mandal Architects. They are the only clear record that is available. As part of Appendix 1 we have included a survey carried out by O'Muire Smyth Architects in 1994, as well as one carried out by Paul Corrigan and Associates in 2006. We cannot verify the accuracy of these surveys.

The photographs included in this report were taken by the author between 2007-2009 and in 2017. The photographs on the previous pages show the buildings photographed from the same locations in 2009 and 2017 and are included as evidence of the effect of those elements of the works, for which the Section 5 Declaration is sought, which relate to the public realm. The photographs that follow are attached to the relevant parts of the report that deal with the additional information requested.

Planning History:

We have researched the planning files in order to secure relevant planning history. Appendix 2 contains copies of what planning history we could obtain. This includes Section 5 and planning applications made by Robin Mandal Architects and we include in Appendix 2 copies of the assessment reports that accompanied those applications. We also include a method statement prepared for repair works to the stone balustrades, which were not part of either a Section 5 or a planning application. Other than our own files, we could not obtain any of the other planning files scheduled below. We looked for them at the registry Department at The Civic Offices and at the Archive Section in Pearse Street Library. Registry records identified are shown in italics below and files requested are marked with an asterisk. None of the files could be found.

| Register Reference | Description | Decision | Date |
|--------------------|---|--------------------------------------|----------------------|
| 0295/64 | Canopy | Refused | 11/03/64 |
| 1926/72 | * (no.19) Reduction from 10 to 5 flats and extension of existing return | Ministerial Grant | 26/02/73 |
| 2177/72 | (adjoining no.19) ESB Sub-station | Granted | 05/04/73 |
| 1807/73 | No description found (outline permission) | Ministerial Refusal | 17/05/74 |
| 2018/73 | (no.19) Maisonette of 2 flats (outline permission) | Refused | 17/01/74 |
| 2255/73 | Canopy, signs, awnings and railings | Granted | 16/01/74 |
| 2204/74 | * Reconstruction of return | Granted | 09/12/74 |
| 0234/75 | * 5 bedroom extension | Granted | 14/05/75 |
| 3309/75 | * (nos.19, 27 & 29) Change of use from apartments to hotel | Ministerial Grant | 10/12/76 |
| 0620/76 | (nos.19, 27 & 29) Extension to rear and Change of use | Refused Granted | 29/04/76 15/10/76 |
| 1138/81 | Retention of function room | Refused ABP | 04/11/81 |
| 1751/83 | * Retention of single-storey extension | Granted ABP | 07/02/85 |
| 0320/93 | Retention of water tank | Granted | 25/05/93 |
| 3779/00 | Retention of telephone masts | Refused | 18/12/01 |
| 3206/03 | Retention of telephone masts | Refused | 14/01/04 |
| 0028/07 | RMA Section 5–Roof repairs / renewal works | Exemption Granted | 21/02/07 |
| D0638/07 | Section 57 application by landlord | Withdrawn | 31/07/09 |
| 0759/07 | RMA Section 5–Supplemental works to 0028/07 | Split Decision Exemption for part | 15/11/07 |
| 6773/07 | RMA Retention of remaining works not declared as exempt in 0759/07 | Granted | 04/04/08 |
| 0221/08 | RMA Section 5–Awnings, car-parking, doors, etc. | Exemption Granted | 25/07/08 |
| 0576/08 | RMA Section 5–Replacement of trees to front | Exemption Granted | 28/11/08 |
| 3242/10 | RMA Demolition of 20 th century extensions to rear of 1767m2 and extension of 5650m2 | Granted ABP | 17/10/11 |
| 3242/10/x1 | RMA Extension of duration of permission | Granted | 04/02/16 |
| FA/17/1559/REG | Knpton Fire Safety FSC Regularisation Appl. | Granted | 25/10/17 |

Basement:
(a) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the 3 bedrooms at basement level to the structures at Nos. 25, 27 and 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

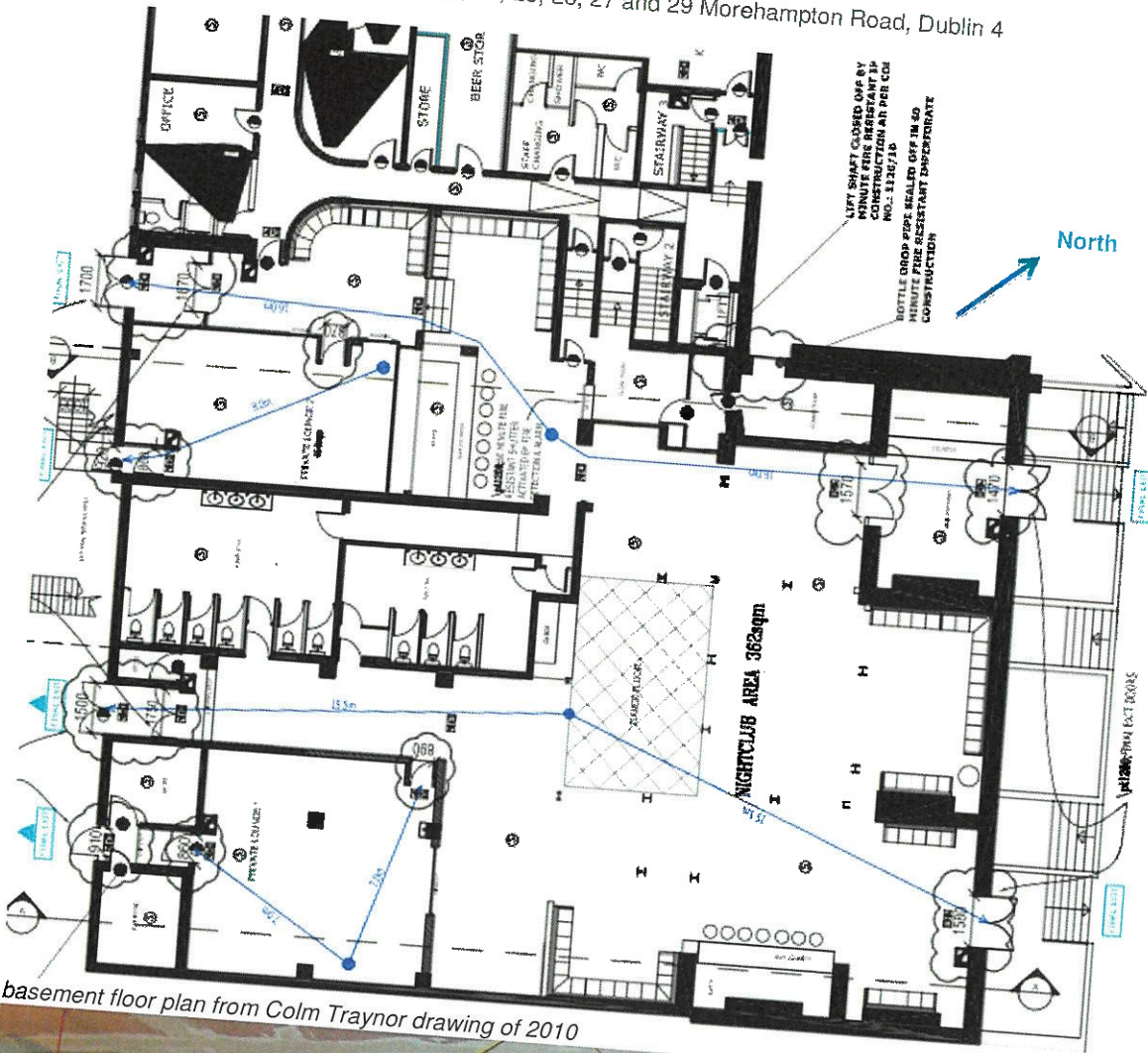


basement floor plan from RMA survey of 2008

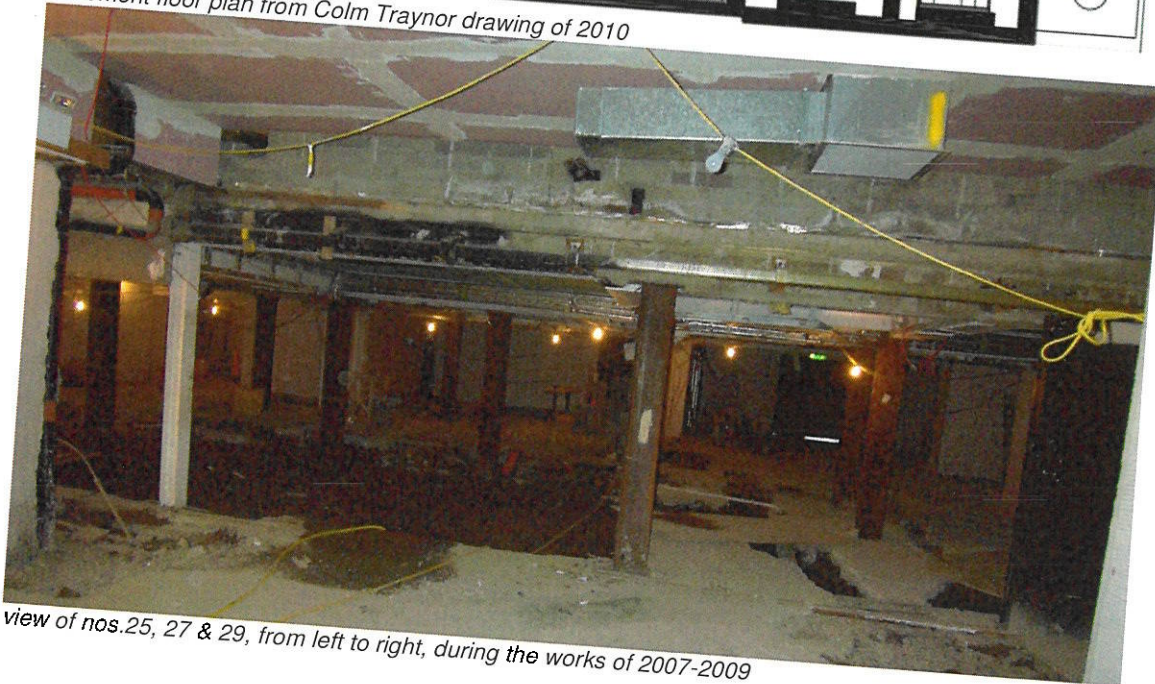
The drawing above is the only verifiable evidence available to analyse the layout of nos.25, 27 & 29 Morehampton Road. It dates from the survey carried out by the author during 2007-2009. As seen on the drawing, the internal layout of the three structures left little of the original floor plans intact. There is no evidence of the original stair cases or of the returns that might have been expected of structures of this type. The outlines of the returns are visible at ground floor and above in nos.27 & 29, but no vestiges remain at basement level. There is an extant staircase in no 27 from ground floor to second floor level.

A 2010 drawing (1032A-CT-01, included in Appendix 1) of the basement, prepared by Colm Traynor for the purposes of a fire safety certificate application shows the layout as it was in 2010.

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



basement floor plan from Colm Traynor drawing of 2010



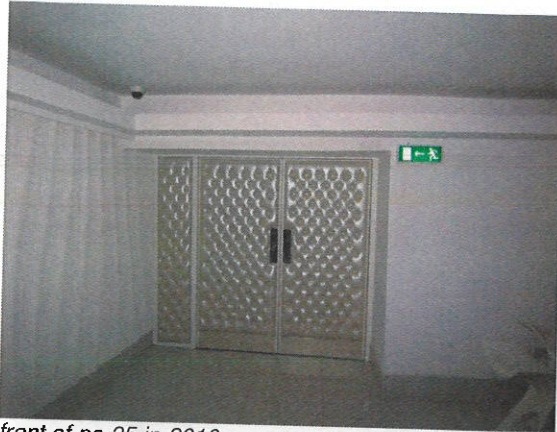
view of nos. 25, 27 & 29, from left to right, during the works of 2007-2009

AN BORD PLEANÁLA

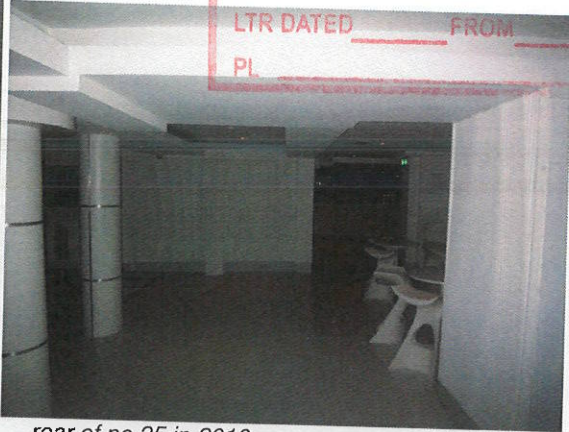
TIME _____ BY _____

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4 **08 MAR 2018**

LTR DATED _____ FROM _____
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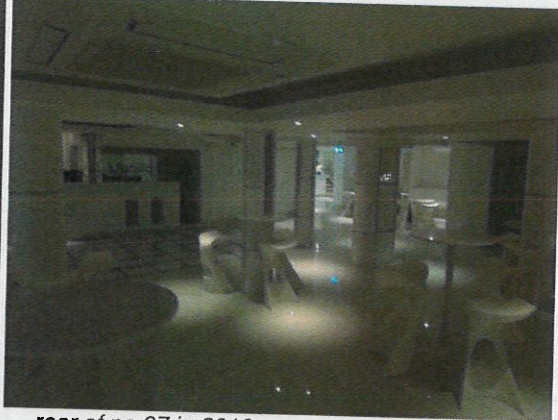
front of no.25 in 2010



rear of no.25 in 2010



front of no.27 in 2010

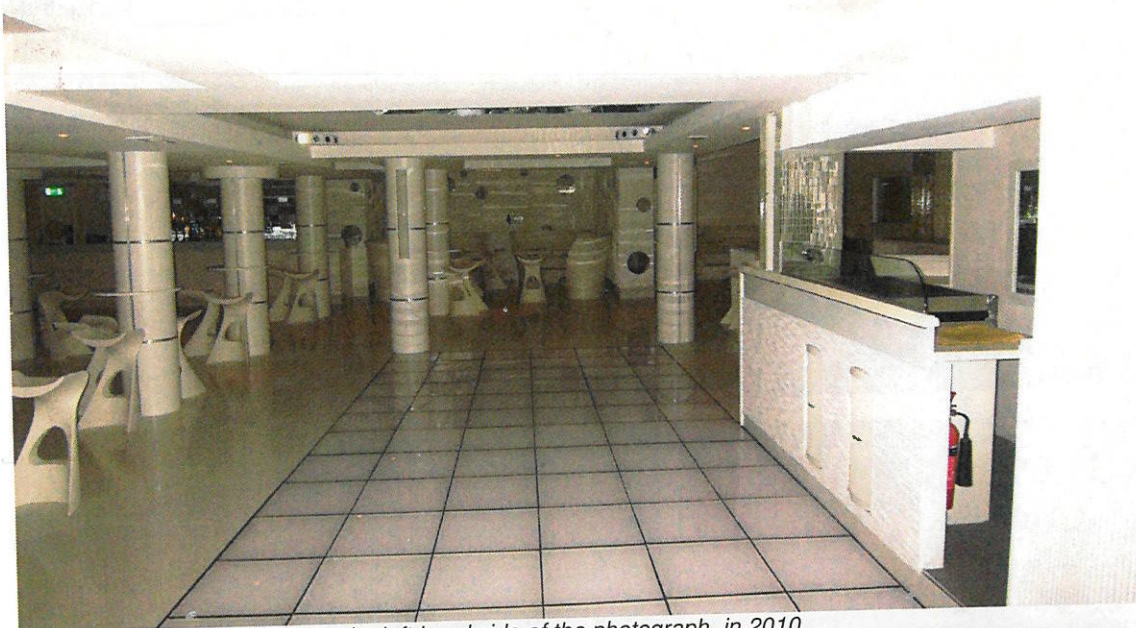


rear of no.27 in 2010



view of nos.25, 27 & 29, along the left hand side of the photograph, during the works of 2007-2009

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



view of nos.25, 27 & 29, along the left hand side of the photograph, in 2010



front of no.29 in 2010



rear of no.29 in 2010 looking towards rear exit

It is probable, although conjectural, that the historic layout of the basements of the three structures were of a longitudinal staircase in a return to the rear, with one room to the rear and one or two to the front, which might have had access below the external granite steps at the front to the open areas at the front of the structures, facing Morehampton Road.

Conservation Assessment:

The layout that is the subject of the Section 5 application is shown on the KBAD drawing number 261 P01 with the RMA 2007-2009 survey shown for comparison on drawing number 1331-21. The as-built layout cannot replicate the uncertain historic layout, but it does reflect the structure of the buildings overhead. It is therefore more authentic than the layout that it replaces and is an improvement from the conservation viewpoint. The use of these rooms as bedrooms is more appropriate than the use of the area as a nightclub.

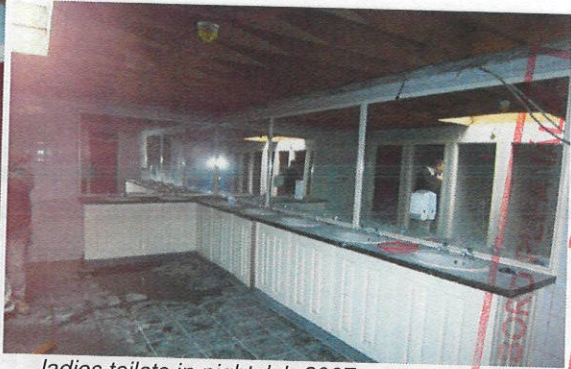
(b) Material evidence (including references and respective dates) as to the use and layout of the basement to the modern structure to rear prior to its use as a nightclub.

The survey drawing above shows the layout of the nightclub as it was at the time of the RMA survey of 2007-2009. The author has not been able to obtain evidence as to any previous layouts or uses of this area. The photographs below are a record from the author of the areas in the modern structure before and after their refurbishment.

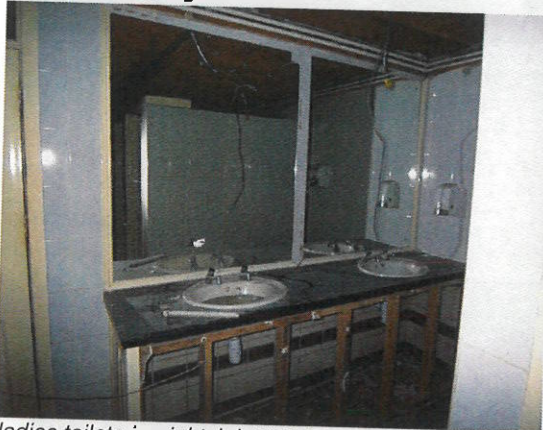
hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



ladies toilets in nightclub 2007



ladies toilets in nightclub 2007



ladies toilets in nightclub 2007



ladies toilets in nightclub 2009



ladies toilets in nightclub 2009



ladies toilets in nightclub 2009



gents toilets in nightclub 2007



gents toilets in nightclub 2007

BY 08 MAR 2018
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hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



gents toilets in nightclub 2007



gents toilets in nightclub 2009



gents toilets in nightclub 2009



gents toilets in nightclub 2009



rear section of the 20th century extension in 2009

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



rear section of the 20th century extension in 2009



rear section of the 20th century extension in 2009

(c) Material evidence (including respective dates) regarding the original/historic architectural details of the windows and doors in the front façade of the structures at Nos. 25, 27 and 29 Morehampton Road, and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.

The photographs above that show the front walls of nos.25, 27 & 29 show that there was not any internal extant evidence of the original historic details of the windows and doors on the front façades. However, there were render patterns at basement level at nos.27 and 29, which indicated putative positions of openings at basement level. Whether the lined render is part of the original fabric is difficult to assess.



render patterns in 2008 at nos.29 & 27 (below), no.27 (left above) & no.25 during the 2008 works (right above)



hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



no.25 in 2008 (during refurbishment)



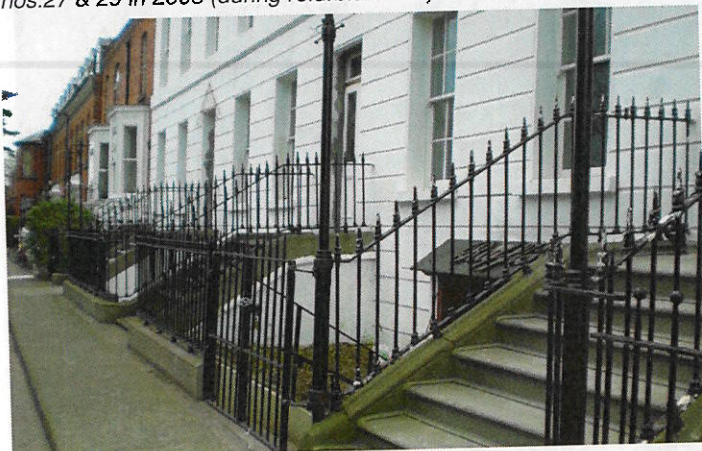
no. 25 in 2017



nos.27 & 29 in 2008 (during refurbishment)



nos. 27 & 29 in 2017



nos.25 to 29 in 2008 (during refurbishment)



nos. 25 to 29 in 2017

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



no.25 in 2008 (during refurbishment)



no. 25 in 2017

AN BORD PLEANALA
TIME BY
08 MAR 2018
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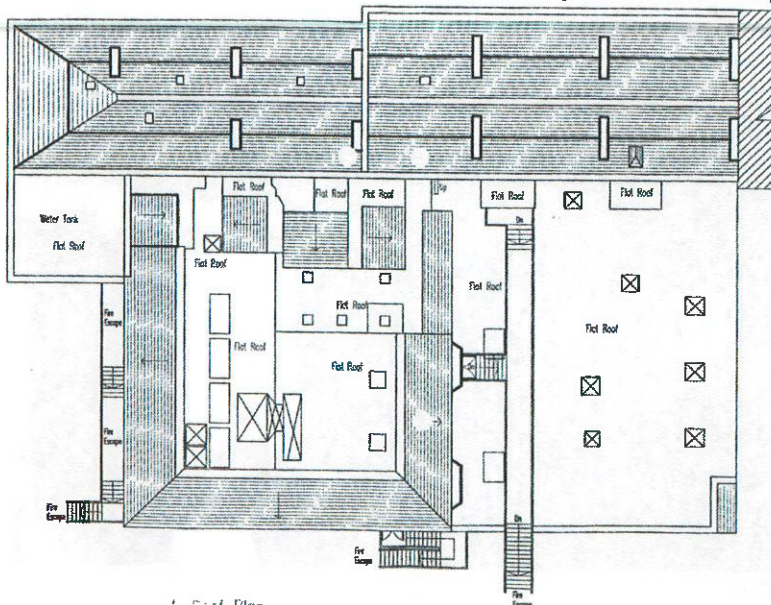
Conservation Assessment

The photographs above, which compare the basement façades in 2008 with the altered façades that are the subject of this Section 5 Application, clearly show the effect of the works. Similarly, the photographs on page 3 and on the cover also show the effect of the works. While there is no evidence to indicate the exact disposition of the earlier historic fabric, the joinery that has been inserted has been sympathetically carried out and has a certain authenticity that does not materially affect the character of the protected structure, as evidenced by the before and after photographs. The re-use of the areas to the front of the three structures is a positive improvement on their use as entrances and exits for the former night club.

Ground Floor:

(a) and (b) Location, layout and design of the fire escape (as approved by planning permission or Section 5 Declaration) prior to modifications illustrated on drawings at a scale of 1:200, including date(s) as appropriate.

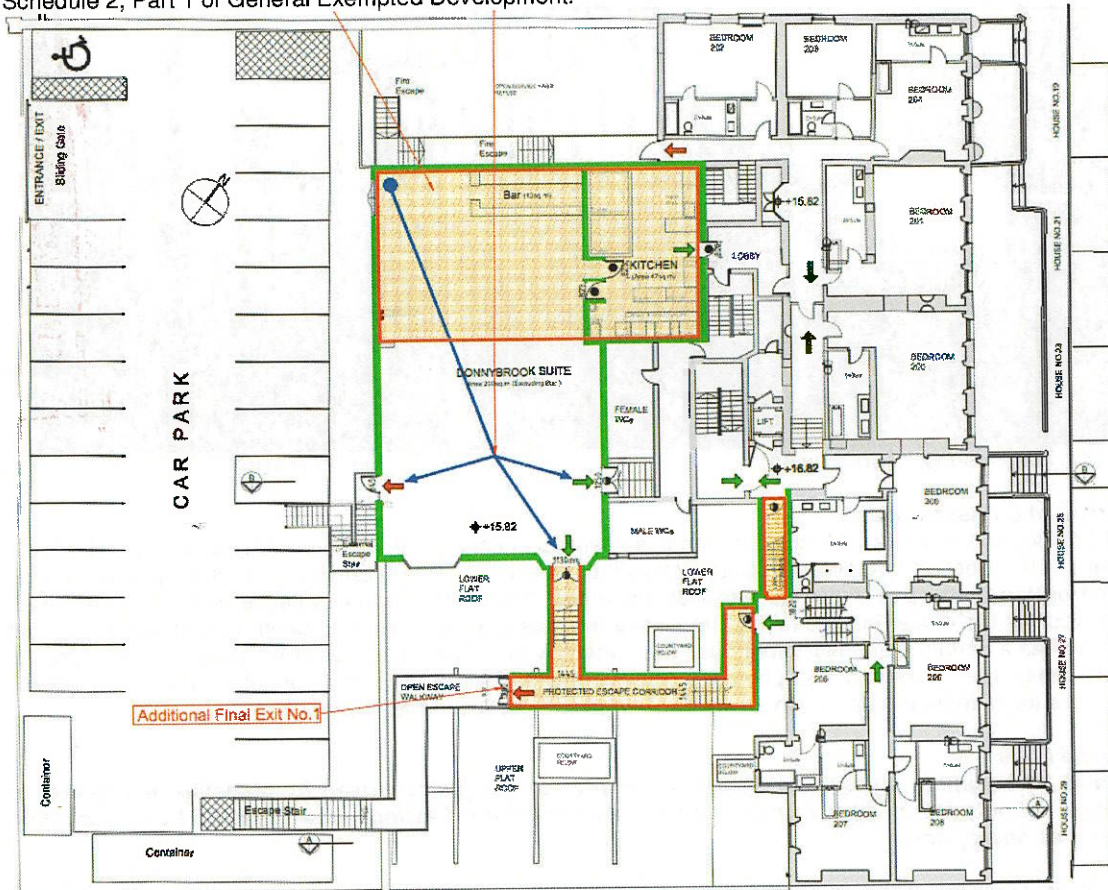
The earliest drawing, which shows the fire escape, that the author could find was a copy of a roof plan from the 1980s from an unknown source. The other drawings are included in Appendix 1 at a scale of 1:200.



1980s roof plan showing escapes

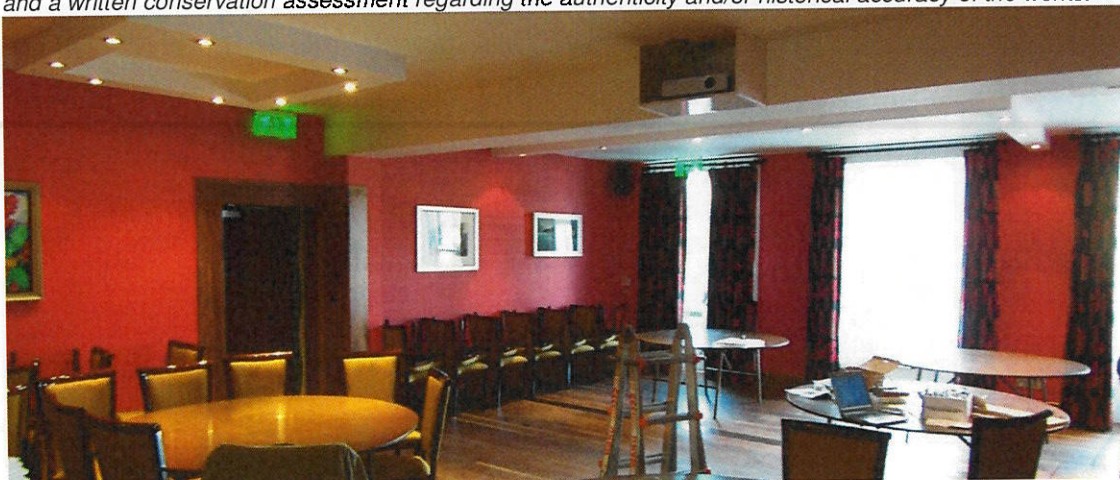
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As noted above, Fire Safety Certificate application was prepared by Colm Traynor in 2010. A further FSC Application was made by Knapton Fire Safety in 2017 and a Regularisation Certificate was issued by Dublin City Council on 25th October 2017. The conditions attaching to that certificate conform to Class 41 of Schedule 2, Part 1 of General Exempted Development.



drawing prepared by knapton fire safety in 2017

(c) Material evidence (including references and respective dates) of the original/historic internal layout, architectural character and historic fabric of the ground floor of the structure at No. 29 Morehampton Road and a written conservation assessment regarding the authenticity and/or historical accuracy of the works.



view of no.29 looking to the front façade

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As with the lost fabric of the basement below, the first available record of the ground floor of no.29 shows the structure as an open plan area from front to rear and from side to side, with a recess in what would probably have been the staircase return. It is likely that, although conjectural, the historic layout of the ground floor of no.29 would have had a staircase in a return, with one room to the rear and one room to the front, beside an entrance hall. This layout would approximate that which remains in no.27.



view of no.29 looking towards the recess which could have contained the original stairs



no.29 looking north



no.29 looking south

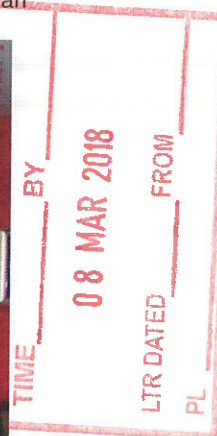
Conservation Assessment

The photographs are evidence that there was no extant historic fabric in the ground floor of no.29. The reinstatement of the structure into a two-room plan is an improvement on the former open plan layout of the ground floor of no.29. While it is not an exact reproduction of the original conjectural layout, it restores the domestic nature to the floor. In the author's opinion, the works carried out do not materially affect the character of the structure and provide a more suitable use for the structure from the conservation point of view.

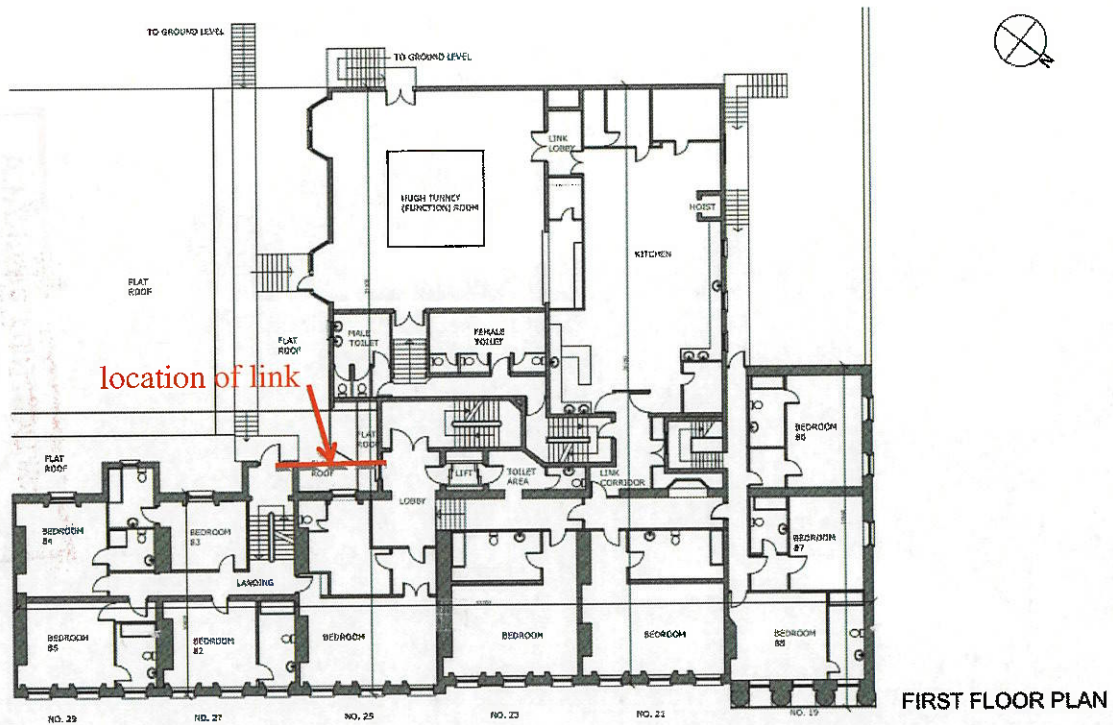
First Floor:

(a) Layout and design of the first floor (as approved by planning permission or Section 5 Declaration) at the rear of No. 25 Morehampton Road prior to construction of corridor/modification.

The survey drawing below carried out by RMA shows the layout that was declared exempt under register reference 0759/07, subsequent to 0028/07, as well as the works granted retention permission under register reference 6773/07. It records the rear of no.25 in 2007.



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Extract from RMA survey drawing dated 2009 – original copy included to scale in Appendix 1

(b) Conservation impact assessment at first floor of the works at ground floor to the fire escape including partial roofing.

At first floor level, the works that are the subject of this Section 5 Application, have little impact. The room across which the new link traverses is a bathroom and contains no elements of historic interest. The alterations to the rear façade that result from this link are imperceptible, given the set back from the back wall of the 20th century single storey structure to the original back wall of the protected structure.



view of the rear elevation of nos.25, 27 & 29 in 2007-area of first floor link shown in red

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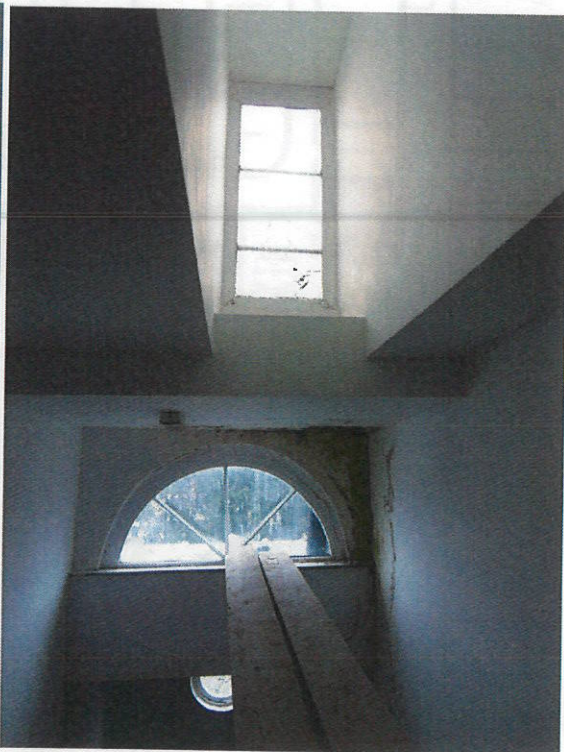
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view of the rear elevation of nos.25, 27 & 29 in 2017 showing the revised escape stairs and the roofed portions, which are located over the 20th century single-storey part of the building

As can be seen from the above photograph, the enclosure of parts of the fire escape route, while located remotely from the protected structure itself does have an effect on the rear elevation of the building. However, given that the connection to the rear façades of the historic part are minor and reversible, the residual impact is on the modern structure and, in the author's opinion, Section 4 (1) (j) of the Planning Act 2000 applies.



view of half landing in no.27, which links to no.25



view from second floor of no.29 (both in 2008)

Conservation Assessment

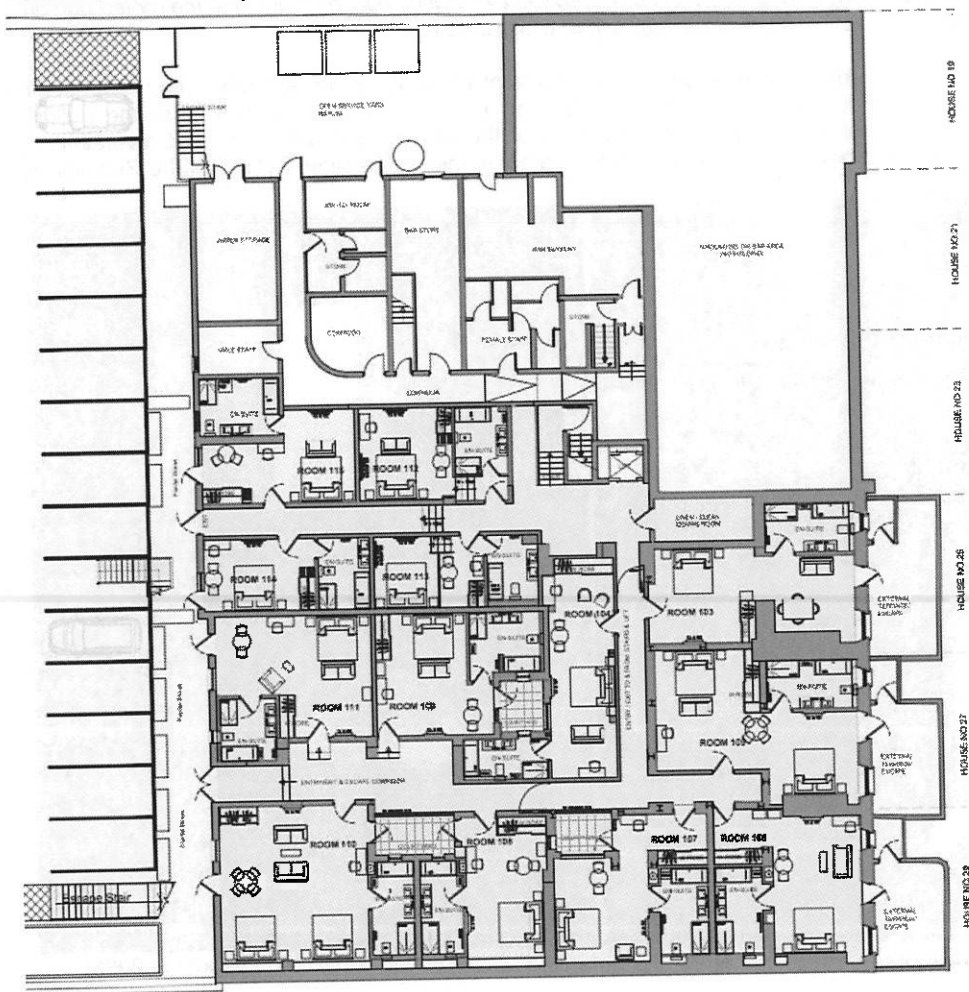
The photographs above show the areas that are affected by the current works. There remains nothing of any historic value in the areas that are being assessed. The first floor link obscures part of the rear façade of no.25. That concealed section was barely visible prior to the current works and the link is reversible. Therefore, the impact of the works on the first floor is imperceptible, neutral and medium term. The works at first floor improve access to the protected structures of nos.27 and 29 and are positive in that regard.

The impact of the altered roofscape, when viewed from the two rear rooms of nos.27 and 29, compared to its visual impact prior to the current works, is slight, neutral and medium term. Give that the roofing of the fire escape has safety benefits, it is the authors opinion that, on balance, the overall impact is positive.

As noted previously, the works to the escape routes would qualify as exempted development under Class 41 of the First Part of the Second Schedule of the Planning and Development Regulations 2001 and amendments.

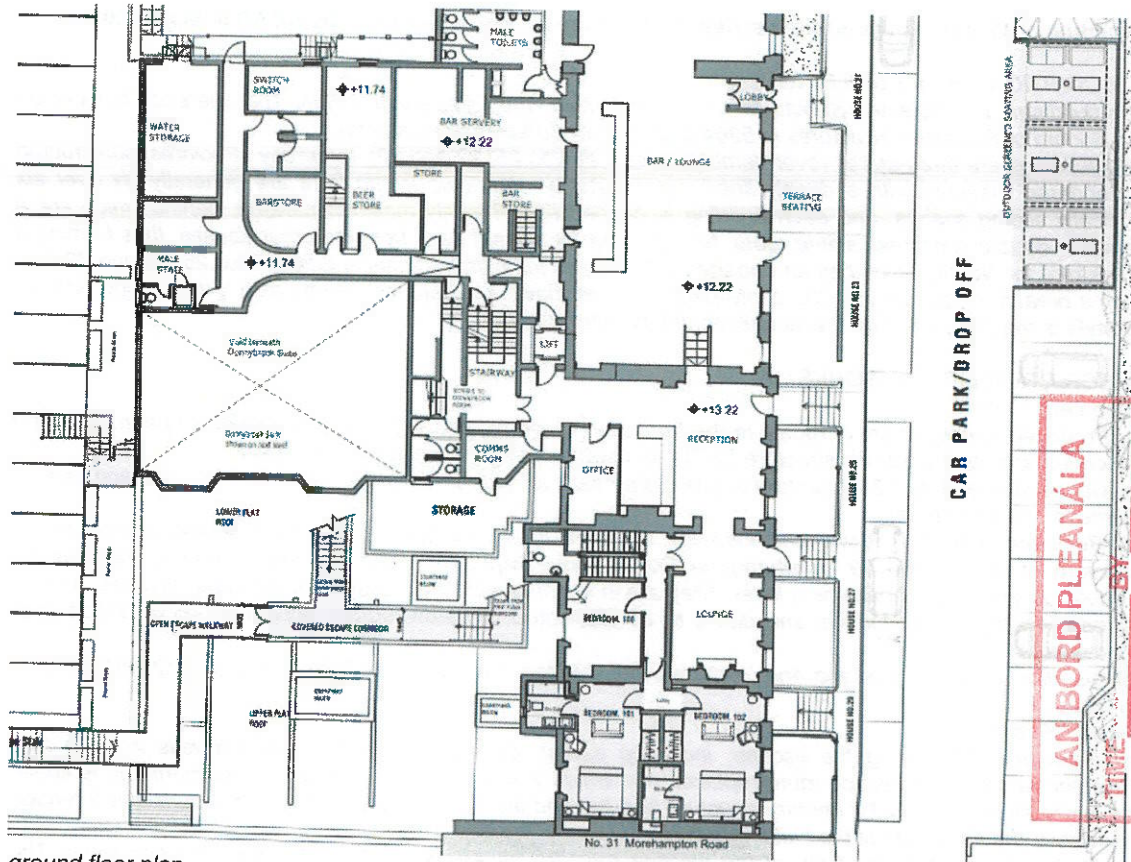
2. A written schedule of the full nature and extent of works carried out to the respective structures as generally described under Nos. 1 (a) to (d), 2 (a) to (c), 3 and 4, inclusive in this application, cross-referenced to drawings at an appropriate scale, together with a conservation impact assessment of same, having regard to the evidence to be provided under No. 1 above.

The full nature and extent of the works is scheduled below and should be read in conjunction with the drawings prepared by KBAD, numbers 261 P-01 to P-04 inclusive as well as with the survey drawings prepared by RMA in 2007, numbered 1331-21 and 1331-21, all of which are included in Appendix 1. Extracts from the KBAD drawings are illustrated below.

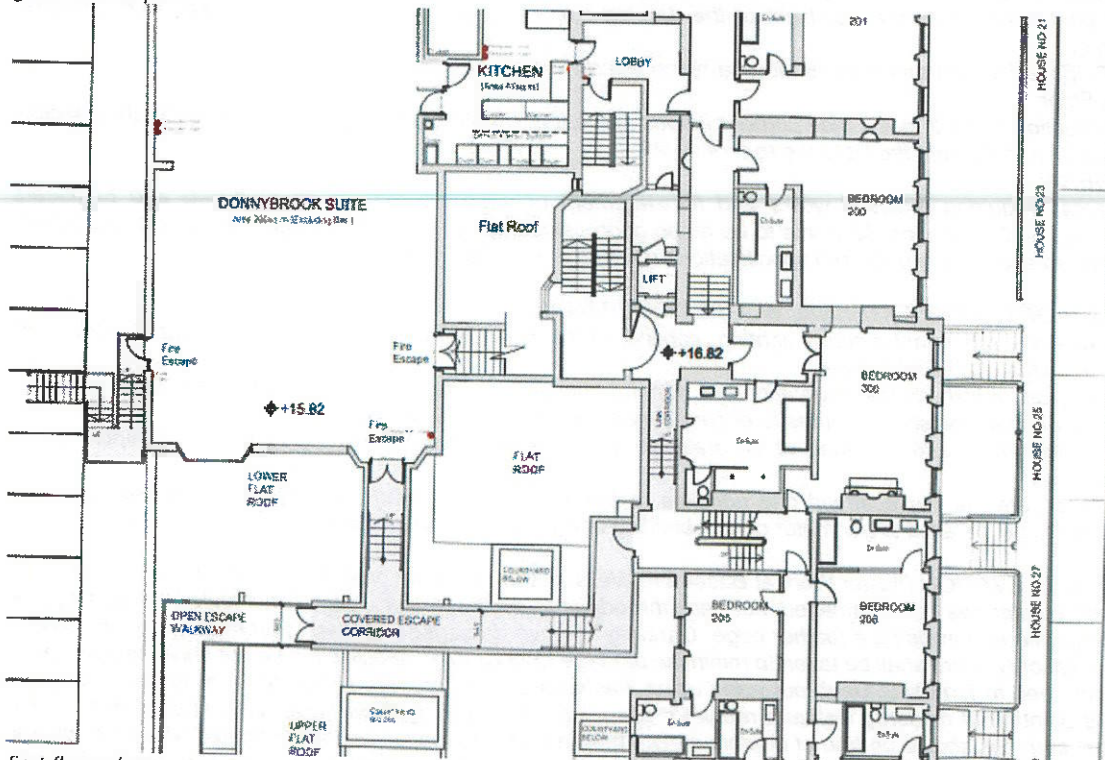


basement

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



ground floor plan



first floor plan

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Schedule of Works for the works carried out to hampton hotel, prepared by KBAD in March 2016

DESCRIPTION OF THE BUILDING

The buildings are Protected Structures under the Dublin City Development Plan. The reference number on the Record of Protected Structures is 5304 and they are referred to as a hotel.

The buildings are three-storey (over semi-basement at Nos.25, 27 and 29), three-bay structures, constructed of rendered masonry with a deeply lined ground storey. Windows to the front are generally six over six vertically sliding sashes, and each building is capped by a heavily moulded parapet, behind which are a series of double-A pitched, slated roofs. Nos. 21 and 23 are set back from the other houses, thus forming a breakfront for No.19, which has an engaged colonnaded Ionic first and second floor. Nos.25, 27 and 29 also form a breakfront, possibly as the centerpiece of what may have been conceived as a 'palace' type terrace. Its style is regency, although it was built sometime after that period.

DESCRIPTION OF THE WORKS

Basement Floor:

- (a) Proposed reinstatement of rooms to the front area of the historic structure as 3no. double bedrooms: The basement area of the historic structure had been used as part of a nightclub in the past.
- (b) Conversion of 20th / 21st century single storey flat roof extension to the rear from nightclub and service rooms to 10no bedrooms.
- (c) Reinstatement of windows and insertion of doors in former opes to the front façade of the historic structure of 25, 27 and 29 Morehampton Road: These windows and doors are located in the formerly blocked up openings at basement level. They are in keeping with the character of the upper façades, all new bespoke sliding sash windows and doors to be fabricated in hardwood by recognised conservation sub-contractors.
- (d) Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure.

Ground Floor:

- (a) Relocation of existing fire escape, including partial roofing to allow for new lightwells into the rear basement areas. This escape route replaces one which was closer to the main function room and is above the single storey 20th / 21st century structure and beyond the footprint of the historic structure. It is intended to improve the fire safety of the building overall.
- (b) Modification of the first flight of the existing rear fire escape stairs from the main function room: The alteration here is that the first flight of the dog-leg stairs has been changed to two flights, with a quarter landing.
- (c) Proposed reinstatement of 29 Morehampton Road to two rooms, used as bedrooms

First Floor:

Construction of a 1.2 metre wide corridor across the rear of 25 Morehampton Road. It serves to allow access to nos.27 and 29 from the lift to the rear of no.25.

GENERAL

All areas requiring remedial works and reinstatement of materials refer to all Architects and Engineers drawings and schedules. All works to be made good using appropriate best heritage / conservation practice.

Refer to specialist reports and specifications referred to in schedule of works documents.

SCOPE OF WORKS: EXTERNAL WORKS GENERALLY

Remove any redundant external lighting, cabling, to the rear elevation relating to the proposed works only
Check status of any live cables.

Remove all rubbish, debris, vegetation etc. from front lower basement walls and rear external walls.

Inspect all drainage service routes to ensure they are in proper working order.

Full replacement and or repair of all drainage goods in accordance with CCTV survey & report where required.

Allow for removal, replacement and possible realignment of all drainage and allow for new Aco drainage channel to be installed to perimeter of rear building and be connected in to existing drainage system.

FRONT ELEVATION Plaster Work at Basement Wells and areas under ground entrance steps;

Where plaster has been damaged, cut back the edges to sound plaster using a craft knife leaving a square edge profile and avoiding a feather edge. Carefully remove damaged or blown render and all loose material from masonry. Care shall be taken to minimise damage to underlying substrate, rake out brick/masonry joints 12mm deep to form key. Daub out voids using lime/cement, and prepare substrate for scud coat. Rake out loose pointing to masonry wall and repoint these joints roughly. Brush out loose dust. Apply render in thin coats, surfaces should be free of organic growth before commencement and to be treated where necessary, with biocide to specification. Plaster coats to be applied as directed, each successive coat being of similar

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strength or weaker than the previous one. Scud coat, where used, to be allowed to dry thoroughly before proceeding. First and second coat to be comb scratched. Apply final coat with a neat butt joint against the original plaster and with a slight bulge in middle of the fresh patch of renders so that final consolidation with a wood float will provide a flat patch flush with the surrounding plaster.

Sample panel to be provided for approval. Approval of sample panel prior to commencement mixes may be adjusted

Stone Work (plinths and steps);

All damaged brick/stone, which has been marked up by the contractor shall be carefully removed in part or in total as directed. Temporary support shall be provided as required. Care will be taken to ensure that no damage occurs to any adjoining stone etc. When cutting out is being undertaken, all cuts will be carefully made, being square and at right angles to the surface of the stone being repaired and no damage will occur to the original stone being repaired. Cutting will be by mechanical cutting tools and will be carefully controlled by the operative

Where a replacement brick/stone is to be inserted the area shall be carefully cleaned and all loose or deleterious material removed. The stone will be laid on a full bed of mortar and all joint fully filled, including the back and sides of the stone. The work will be carefully grouted by hand to ensure all cavities around the repair fully filled. The stone will be inserted precisely on the line of the original.

Where fixings will be required they shall be of grade 316 ss stainless steel and will be grouted with cement mortar on part cement to 3 parts crushed stone.

All work will be thoroughly cleaned or rubbed down and left perfect at the completion of works. Upon completion of paint removal any necessary stone repairs shall be undertaken and the exposed stone re-painted using a breathable mineral paint system (Keim Soldalit or similar approved).

Allow for removal of any paint to existing granite cills, stringcourses and plinths; including making good to bring back to original condition and repointing of joints with lime mortar.

Allow for preparing existing window reveal surface and painting, repair and or replace any damaged areas.

Remove embedded steel security bars to basement front window and make good cills with reconstituted granite infill.

Allow for Strengthening above heads, pin façade to party walls/floor joists, replace/repair damaged brickwork with salvaged bricks

Allow for cleaning, repairing, treating and redecorating existing railings and gate to the front of the property; include for any replacement works. Allow for cleaning, repairing, treating existing stone plinth [supporting railing]. This to include removal of mastic in stone joints and repair with lime mortar. All in accordance with conservation and DOE guidelines.

Replace rusting dilapidated metal stairs, landing, handrails to basement well. See detailed drawing T-07

REAR ELEVATION

Inspect rear elevation and allow for repairs to any cracks in plasterwork following the forming of new window and door openings and lintels.

Allow for inspecting parapet and carrying out any structural works required (installation of DPC and re-bedding capping included under roofing).

Allow for replacement of all waste and rainwater goods. New pipework to be cast iron.

ROOFS

Replace old defective and worn / leaking (like for like levels) flat roof top coat surface and membrane as follows;

FLAT ROOF

18mm WBP Plywood screw fixed to Timber furring pieces with falls as indicated on roof layout drawing on Replacement timber joists where required - 200X44mm C24 timber joists at 400mm centres with solid bridging at min. 1350mm centres

Roof joists ends to be preservative treated and fixed to solid block walls using galvanised joists hangers

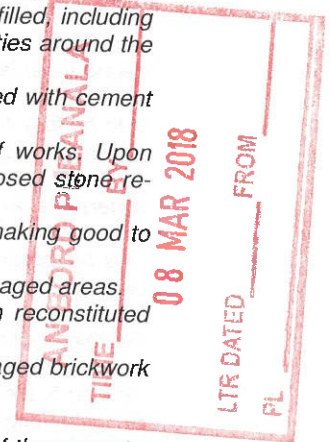
Roof membrane build up. Paralon Granular roll sheeting from Moy Materials or similar approved.

Section 1, Preparation.

1.1 Sweep timber deck clear of all debris and dust.

1.2 Prime timber/insulation deck and all details/upstands with Impertene bitumen primer at a rate of 3 square meters per litre of material.

1.3 Prior to the installation of any membrane set the rolls of vapour control membrane out at regular intervals to avoid trafficking across the membrane.



Section 2, Vapour control:

2.1 Adevapor 3.5mm thick foil core vapour control layer is to be fully torch bonded to the entire field area ensuring a joining lap of at least 100mm onto the details. All joints are to be staggered and ensuring 80mm side laps and 100mm end laps at all times.

Section 3, Insulation:

3.1 Sweep Vapour control layer/roof surface and ensure that the area is dry. Any water left on the surface of this layer could lead to vapour blisters so it is important that the surface is dry prior to laying Kingspan 110mm TR27 rigid insulation, laid and fastened in accordance with manufacturers recommendations

3.2 APPROVED ANGLE FILLETS TO BE FITTED AT UPSTANDS AND KERBS.

Section 4, Waterproofing:4.1

Top series 3mm sand faced modified bitumen underlay is to be fully torch bonded to all details ensuring it laps onto the Vapour control layer by 50mm and extending onto the field area by at least 150mm.

4.2 Top series 3mm sand faced modified bitumen underlay is to be fully torch bonded to the entire field area with 80mm side laps and 100mm end laps ensuring joints are staggered. This layer should join onto the details by at least 100mm

4.3 Paralon Ard/Hs Granular 4.5mm AGREEMENT CERTIFIED elastoplastomeric modified bitumen cap sheet is to be fully torch bonded to the entire field area with 80mm side laps and 100mm end laps ensuring joints are staggered.

4.4 Night seals: To ensure waterproofing integrity is maintained during the installation of warm roof build ups, (where the works need to be temporarily suspended due to dayworks or inclement weather), a temporary waterproofing seal is required from the new to the existing to ensure the building is kept watertight. This temporary waterproofing seal should be provided to protect the insulation from any water ingress. An underlay or equivalent should be lapped and sealed by linking the vapour control layer to the waterproofing layers.

Day/night joints must be applied to all details and main roof areas, where waterproofing integrity may be compromised due to the progress of the works or inclement weather.

Section 5, Details:

5.1 The heights of all skirtings are to finish at least 150mm above the finished roof surface. 5.3

Angle fillets are to be used at all horizontal and vertical abutments. Apply with the facing upper side most, tightly butted to the horizontal and vertical abutment. These should be adhered using a mastic sealant.

5.4 Termination to parapets. GRP or aluminium edge trims are to be used at parapets or as per architects parapet details These should be fixed over both layers of waterproofing and should be sealed using a mastic sealant.

5.5 Pipe penetrations hot: Extend pipe-work as necessary to achieve a minimum upstand height of 150mm above finished roof level.

Install an insulated pipe sleeve to the pipe-work to achieve a minimum upstand height of 150mm above finished roof level.

Apply the specified waterproofing fully bonded to the pipe sleeve, and lapped onto the main roof area by 150mm

On completion of the detailing works provide a metal apron flashing to the pipe and seal using mastic.

5.6 Pipe penetration cold: Extend pipe-work as necessary to achieve a minimum upstand height of 150mm above finished roof level.

Provide code 4 lead flashings preformed to suit each pipe; the sleeve should be dressed between the waterproofing layers. Lead work should be dressed and turned over the top of the pipe to encapsulate the rim or the top edge, being secured with a proprietary flashing being sealed with a suitable mastic sealant to the top edge.

Apply the specified waterproofing, fully bonded to the pipe and lapped onto the main roof area by 150mm.

5.7 Roof drainage/outlets

Install Harmer cast aluminium or Italprofil ANTI-BACK UP roof outlets as per manufacturers installation guidelines connected to sealed pipework system.

5.8 Install italprofil pipe collars and cowls to soil vent pipe penetrations as per manufacturers guidelines.

Section 6, Completion:

All debris and arising's from works are to be cleared from site and the site is to be left tidy. A final inspection should be requested prior to decanting site.

Above to achieve a U-Value in excess of 0.18W/m²k

LEAD FLASHINGS Lead flashing to be a minimum of Code 5 lead (2.24mm thickness). With minimum 150mm counter flashing, all joints to be folded /welded. Use lead wedges when turned into chased opening.

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All internal / external corners to have welded gussets Softwood Tilting Fillet at Edges with Lead welt fixed over. Roof Underlay to be dressed out over lead welt & tilting fillet at the edges.

GLAZING

EXTERNAL WINDOWS & DOORS TO REAR & LIGHTWELLS; Aluminium or Hardwood timber supplied and fitted by window sub-contractor. External windows and doors to be approved by client. See drawings for general spec. Builder to attend on sub-contractor and programme for order and installation
Glazing to have high thermal performance triple glazing with argon filled cavities and Low-E coated glass.
All ironmongery to be polished chrome finish. All doors to have 5 point locking mechanism

HERITAGE WINDOWS TO FRONT FAÇADE OF HOUSES 25, 27 & 29

New heritage window by specialist window contractor and sample approved by Architect all in accordance with window schedule, window specialist report and DOE conservation guidelines. All timber primed and painted to match existing windows.

Refer to Geraghty Joinery Window Shop Drawings appendix,

ABOVE AND BELOW GROUND DRAINAGE

SURFACE / FOUL DRAIN:

Provide surface water & foul drainage pipes, selected rwp's, gullies, access junctions, manhole covers as indicated on the ground / first floor general arrangement plan.

Provide 110mm dia. Pvc drainage pipe pop ups in structural slab to en-suites in basement as indicated on drawings. Ensure easy bends are provided to all changes in direction.

It is the Main Contractors responsibility to provide connection details to drainage system and connection licence and/or road works licence as required by Local Authority Building Control and to submit these documents to Building Control.

All works to be carried out in accordance with the building regulations and technical guidance documents.

It is the Main Contractors responsibility to engage a Chartered Engineer to carry out all relevant design and calculations and to provide connection details to drainage system as required by Building Control and to submit these documents to Building Control.

SERVICES:

Electrical Mains: All works to comply with (RECI Regulations) standards. Inform client of their requirements and costs associated directly of new meter if required.

Electrical Services: Electrician to inspect existing mains board MCB board during tender procedure to determine loading capacity for new works. Contractor to inform architect of findings and all associated costs/works involved to be included in tender costs prior to works commencing.

All new power sockets, lighting points and switches are as per indicated on new service drawings. All new earth points to connect to existing earth rod on main board. Note new services drawings indicate new works only – refer to survey drawing for existing services. Existing services to be maintained where they are not affected by new works.

Electrical Existing Building: Remove all obsolete cables from skirtings / walls / architraves and make good to holes/paintwork. Maintain existing sockets where they differ from proposed new locations. Remove and replace light switches for location and type as specified on services drawings. Maintain location of MCB board and mains electrical board, make adjustments to allow boards to be repositioned slightly within cupboard space.

Heating: New Bedroom heating to be mechanical Air Conditioned thermostat controlled, design of unit sizes and location of condenser units to be determined by specialist sub-contractor (design & install) and layouts agreed with Architects and clients.

Note: Contractors plumber to provide Gas Safety certificates for client and in compliance with Regulations. Contractor to notify client on how to apply for grant scheme if available.

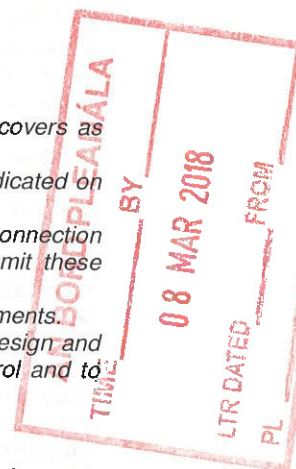
Plumbing: Extend and insulate all existing hot and cold water feeds to boiler and fit shut off valves.

JOINERY & FINISHES:

Joinery: 150mm HW square finish skirting board with 10mm wide x 3mm deep route out recess set 20mm from top, throughout, painted. Hardwood architraves to all internal doors with similar as recessed skirting, all painted.

Floor and wall Finishes: Client to select all new floor finishes and wall tiling and arrange for fitting same.

Painting: Undercoat and paint plastered walls and ceilings 3 coat 'Dulux' soft sheen white (walls) Matt finish to ceilings (or selected colour by client)



Existing; Reline all internal walls with heavy duty lining paper and paint 3 coats 'Dulux' soft sheen white. Repair evident cracks in ceilings and repaint ceilings, Prepare and paint all existing bay window joinery and existing internal joinery throughout Dulux gloss white.

Power / Lighting: First fix wiring to all items detailed on services drawing. Allow for chasing out existing walls, ceilings and repairing. Allow for MK range of sockets and light switches – type Logic Plus. Allow for 1 combined USB / Power outlets in each bedroom.

INTERNAL WORKS GENERALLY:

Damp/Dry Rot Treatment;

Consultant damp specialist to carry out full report following opening up works on site. In this type of building there are likely to be a vast amount of in-built timbers present, i.e. lintels, wall plates, wall-bearing ends of joists, bond timbers etc. Where such timbers occur or have occurred in the past in the presence of high levels of moisture, they are susceptible to outbreaks of wood-rotting fungi, either dry rot (*Serpula Lacrymans*) or wet rot of various varieties.

With this in mind allow for removal of all in-built timbers to exposed walls. Areas of spot checking of the hidden in-built timbers by carrying out limited opening up work which will involve removing small sections of plasterwork and pockets of masonry approximately 100mm x 100mm x 100mm.

Areas of rising damp where found in Basement. Remedial works to mitigate this problem as follows; damaged render to the affected areas to be carefully cut out to a regular edge, either leave the affected area to dry out naturally or treat the area with the insertion of a chemical damp proof course using 'Wykamol Ultracure' or similar approved product. Key existing wall by scoring/raking out of joints prior to applying new coats of lime based render applied to minimum thickness of 25mm, finished flush to the existing face. Surfaces primed and two coats of selected top-coat paint applied to match existing. All works to be carried out as per D.O.E. conservation guidelines and inspected by Dublin City Council conservation architect prior to and after works.

See attached report and recommendations by Quigley Preservation Ltd.

NEW DECORATION OF WALLS & CEILINGS:

Decorative coatings fulfill two particularly relevant functions. One is purely aesthetic, relating to colour, texture, and overall visual quality like opacity and transparency. The other is performance related and how the coating functions physically. This includes permeability, compatibility, durability, flexibility, reversibility, protection, weight, thickness, surface tension, drying, ageing, preparation requirements and number of coats required. Added to this is the means of application and cost.

Where plaster is concerned, renewing the original finish may be desirable, but it may also be impractical for a number of reasons. In some cases the choice of coating is dictated by circumstance; in others, the options may be less clear cut. In any event, the conservation and preservation needs of the fabric should be foremost.

The thickness and difficulty of subsequent removal preclude the use of oil and casein bound distempers. Their additives are intended to decrease dusting whilst increasing permanence and durability rarely suiting them for use on pure conservation grounds.

Classidur Tradition paint is a non-conventional solvent based coating suitable for many conservation driven decorative schemes. It is particularly suited to use on fragile surfaces, oil and/or water soluble stains – including nicotine and soot, where excessive previous coating build up is undermining the adhesion of existing coatings to the substrate and where a need for a matt type finish is required or is most applicable.

This non-conventional oil paint has high vapour permeability due to its low binder. Permeability exceeds Contract Emulsion type paint for New Plaster, though it is less vapour permeable than soft distemper or lime wash. Crucially, its zero tension film former results in the coating resting on a surface rather than penetrating, adding only its weight without the additional surface tension development characterised with conventional oil paint systems and particularly acrylic and PVA emulsion paints. Its zero tension formulation will not exacerbate any existing paint failure condition.

The Classidur Tradition coating has high opacity and resistance to water and oil based stains, including nicotine, tar and soot, though aniline dyes – such as red felt tip, will grin through. □ Note that subsequent overcoating with conventional materials will negate any of these benefits as the material does not provide physical sealing of the surface. As such, it is not a sealing stain blocking coating in the conventional sense.

Surface preparation requires dusting. Ideally, loose and flaking coatings should be removed from the substrate, however, Classidur Tradition will not exert additional 'pull' on existing paint beyond the addition of its own weight. Priming and undercoating are not necessary. Two coats are generally sufficient to achieve a strong colour change of full opacity.

The relatively high cost of the material is offset by its reduced preparation requirements and fewer coating applications compared to conventional paint systems. The aggregated cost of labour and material is typically cheaper than a conventional system requiring washing down, priming, undercoat and 2 to 3 topcoats.

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INTERNAL PLASTER REPAIR WORKS GENERALLY:

Scraping Down; Loose and flaking paint should be carefully removed to a firm and stable ground. It is not sufficient to simply pass a scraping tool over existing painted surfaces to achieve an adequate level of surface preparation. Poorly adhered paint must be identified and carefully but thoroughly scraped back to a firm edge and ground.

Dusting, Washing Down & Degreasing; Painted surfaces should be degreased and cleaned of grime and dirt where specified using a solution of clean water and sugar soap mixed to the manufacturer's specification. Surfaces to be washed should be wetted to the minimum to complete the task satisfactorily. All traces of sugar soap should be thoroughly rinsed off with clean water and a damp sponge. Keep wetting of surfaces to a minimum. Change rinsing water once dirty as frequently as necessary.

Ceiling Restraint; Implement ceiling restraint locally where required avoiding a systematic grid system. Ensure restraint sites avoid touching or overlapping cracks. Where access from above is unavailable, locate joists or other substantial supporting timber other than laths for screw fixing.

Filling; Filling of holes, steps and other surface defects to be with Toupret Interior Filler (Red Box).

Rake out and clear loose, decayed and friable material, but do not rake out stable material and sides of cracks any wider than existing. Fill flush with holes and cracks; feather carefully across steps.

Sand down and smooth to surrounding surface once dry. Carry out all filling and smoothing two times to avoid sinking of deep cracks and ensure a flush filled surface.

Where particularly deep fissures and holes require filling, ensure the filler has thoroughly dried out before repeating. Do not fill more than 18mm per layer for large and deep defects.

Sanding; Plaster surfaces and new filler – sand down dry with P80/P120 coarse/med grit.

CEILING PLASTER RESTRAINT SYSTEM;

Where access can be achieved from above – the preferred method utilises steel wire inserted through small pilot holes in ceiling plaster and tied off to existing structure and/or suspended from perforated galvanised band secured between joists.

Where access from above is not possible or practical, use screws of minimum shaft diameter yet sufficient length to make a secure fixing in to stable and secure structural timber above. Suitable timbers include rafters, beams, joists and thick battens. Laths are only suitable for light loads.

Drill pilot holes of no greater than 5mm diameter through plaster face at underside of ceiling/cornice for wire insertion to each side of major cracks and /or across unstable sections. Suspension points as required to achieve stability and securing of unstable plaster section.

FILLING METHOD STATEMENT;

Filling of restraint sites, steps and other minor surface defects to be with Toupret Interior Filler (Red Box). Dust and clear loose, decayed and friable material but do not increase width of cracks by raking out. Fill flush with holes and cracks; feather carefully across steps at a natural angle relative to surrounding material.

Apply accurately and carefully to avoid 'buttering' the surrounding area reducing excess waste and unnecessary subsequent physical impact from sanding. Conscientious and systematic filling at the filling stage significantly expedites time expended sanding and improves finish quality.

Sand down and smooth to surrounding surface once dry and clean excess with a soft decorators dusting brush. Carry out all filling and smoothing two times to avoid sinking of deep cracks.

Where particularly deep fissures and holes require filling, ensure the filler has thoroughly dried out before repeating. Do not fill more than 18mm per layer for large and deep defects. Fill over with Toupret (Red Box) Interior Filler, and smooth to surround.

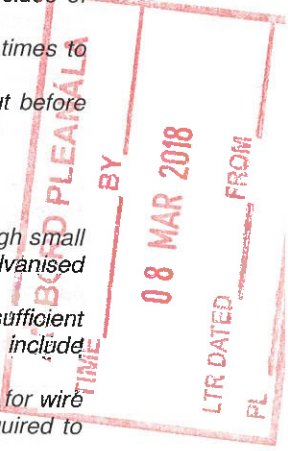
Sand using wet & dry or aluminium oxide paper. Typically grades of around P120 and P180 will provide the most efficient sanding. Clear out clogging filler from grit regularly with a stiff bristle brush. Sand dry only and without the use of water.

Toupret Interior Filler (Red Box) is a soft gypsum based filler particularly suited to historic plaster interiors. It is considerably softer than usually used 'multipurpose' products such as Tetrion, Polyfilla etc. These latter materials are too hard for the softer existing historic fabric and leads to excessive sanding as well as potential deterioration of the softer surrounding materials.

SUMMARY OF THE INTERNAL WORKS GENERALLY:

Basement Floor - Allow for remedial works to existing concrete basement slab, remove all falls and changes in level locally. Allow for 16mm new Carpet on underlay throughout floor finish to client requirements.

Walls: strip wall linings and carry out structural intervention (tying in, pining and banding works). Areas to be replastered and repaired as previously described. Prepare wall to receive new finishes; include two coats



hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

Classidur Tradition (and under coat where required). All works in accordance with DOE guidelines and Architect/Engineers instructions.

Ceilings to Basement – 2 layers of 12.5mm fireline plasterboard on existing joists, all joints taped & filled & skimmed, to provide 60min fire compartment. All new ceilings to receive 3 coats of colourtrend soft sheen emulsion ral:9010.

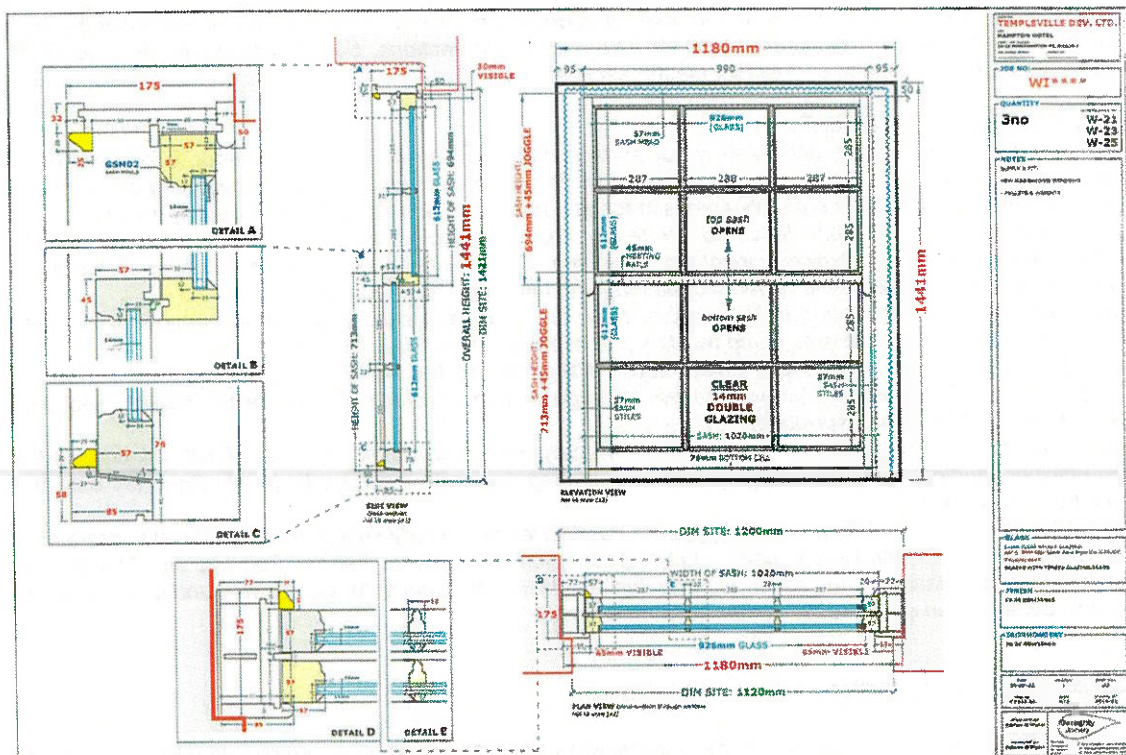
Fire seal all penetrations through fire rated walls and ceilings using fire collars to service pipes, intumescent mastic to all wall / ceiling joints, fire batts to exposed holes of electrical service runs. See attached data sheets from Nulifire fire safety products for typical applications.

Ceiling to ground floor: Repairs to lath and plaster ceiling as described above. Clean and prepare to receive new coats of paint; include two coats Classidur Tradition. All works in accordance with DOE guidelines and Architect/Engineers instructions.

Decorative plaster works including corncing, ceiling roses etc. where applicable: Clean and prepare to receive new coats of paint; include two coats Classidur Tradition. All works in accordance with DOE guidelines and Architect/Engineers instructions.

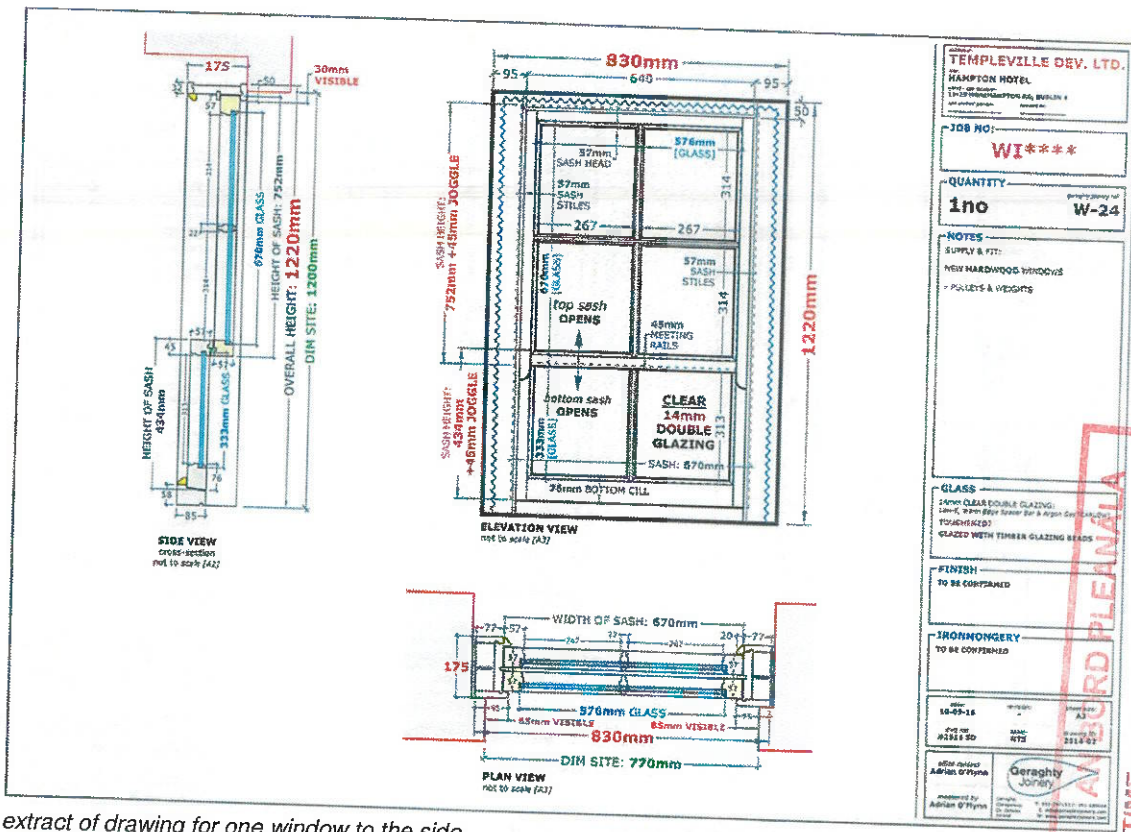
Joinery [skirting, dado rails, picture rails, architraves; clean and prepare joinery to receive new coats of paint; repair sections where damaged to match existing and replace infected or decayed skirting's when carrying out new concrete slab; include base coat primer and two coats gloss finish. Refer to window and door schedule under separate scope of works report.

New Walls Bedrooms and En-Suites □ 2 layers of 12.5mm fireline plasterboard on doubled 70mm metal stud partition system with 25mm cavity to form a 200mm thick overall partition wall system, all joints taped & filled & skimmed, to provide 60min fire compartment. New 30min fire doors & frames (see door schedule). All new partitions/walls to receive 3 coats of colourtrend soft sheen emulsion ral:9010.

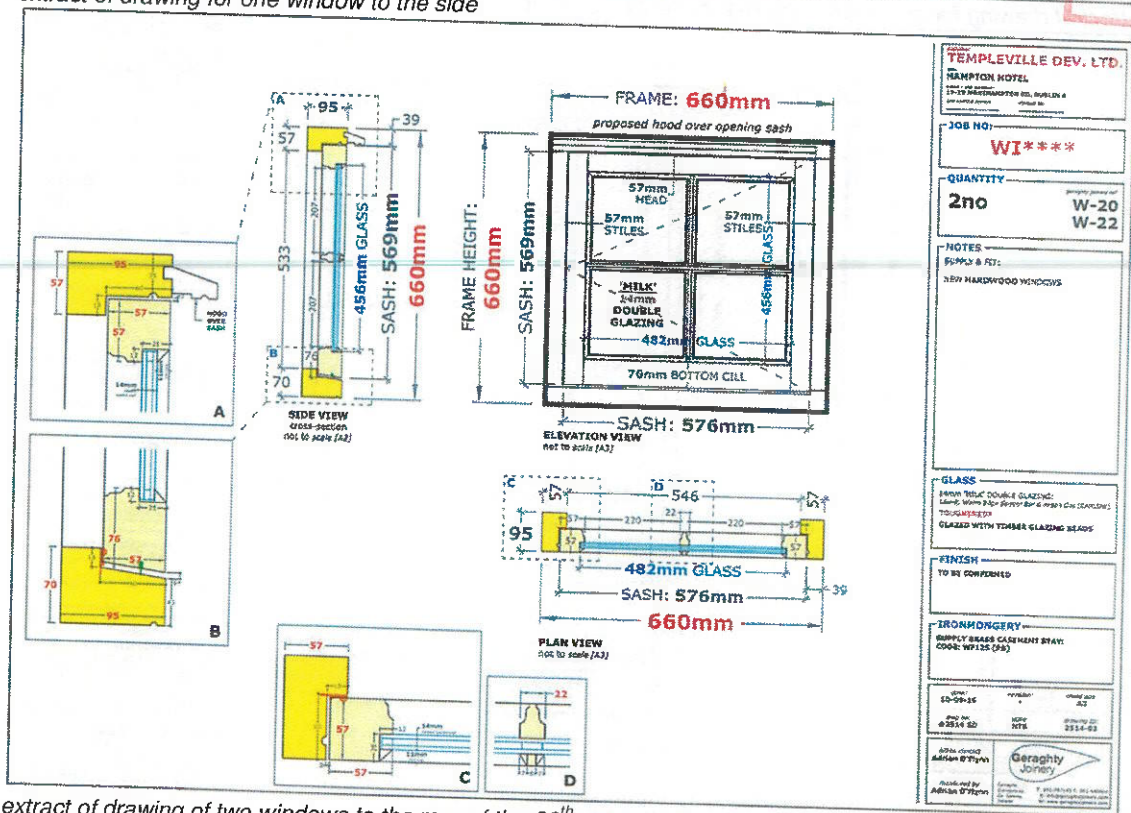


extract of drawing for the three windows to the front

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



extract of drawing for one window to the side



extract of drawing of two windows to the rear of the 20th century structure

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

TEMPLEVILLE DEV. LTD.
HAMPTON HOTEL
19-29 MOREHAMPTON RD, DUBLIN 4

JOB NO: **WI******

QUANTITY: **1no** (quantity supplied) **D-06** (quantity ordered)

NOTES:
SUPPLY & FIT:
NEW HARDWOOD DOORS
DOORS OPEN OUT
DOOR HINGED ON LEFT HAND SIDE

PROFILE TO FRAME: **SQUARE**

IRONMONGERY
IRONMONGERY COLOUR: **T&C**
LOCK: **4 POINT LOCK**
HANDLE: **SWAN HANDLE or equiv**
IS THUMBLER REQUIRED? **Y**
CYLINDER - SECURITY? **Y**
WEATHER COLLECTOR: **NOT REQUIRED**
MOISTURE WEATHERBAR: **N/A**
U-CHANNEL: **TENSER CELL**
ADDITIONAL IRONMONGERY:

GLASS
CLEAR DOUBLE GLAZED UNITS TOUGHENED
Laminated GLASS
Laminated, 10mm Clear Spacer Bar & Argon Gas (GLASS) TOUGHENED
GLAZED WITH TENSER GLAZING BEADS

FINISH
DOOR & FRAME: **STAINED** **T&C**
DOOR & FRAME: **STAINED** **T&C**

Spec: **10-08-16** (date) **AKM** (author) **MTB** (checked by) **25-14-04** (date)
Proj No: **2318-00** (date) **AKM** (author) **MTB** (checked by) **25-14-04** (date)

Office Address: **Adrian O'Flynn**
Address of Project: **Geraghty Joinery**

Prepared by: **Adrian O'Flynn**
Checked by: **Geraghty Joinery**

extract of drawing for one door to the rear of the 20th century structure

TEMPLEVILLE DEV. LTD.
HAMPTON HOTEL
19-29 MOREHAMPTON RD, DUBLIN 4

JOB NO: **WI******

QUANTITY: **2no** (quantity supplied) **D-05** (quantity ordered) **D-07** (quantity ordered)

NOTES:
SUPPLY & FIT:
NEW HARDWOOD DOORS
DOORS OPEN OUT
DOOR HINGED ON LEFT HAND SIDE
DOOR HINGED ON RIGHT HAND SIDE

PROFILE TO FRAME: **SQUARE**

IRONMONGERY
IRONMONGERY COLOUR: **T&C**
LOCK: **4 POINT LOCK**
HANDLE: **SWAN HANDLE or equiv**
IS THUMBLER REQUIRED? **Y**
CYLINDER - SECURITY? **Y**
WEATHER COLLECTOR: **NOT REQUIRED**
MOISTURE WEATHERBAR: **N/A**
U-CHANNEL: **TENSER CELL**
ADDITIONAL IRONMONGERY:

GLASS
CLEAR DOUBLE GLAZED UNITS TOUGHENED
Laminated GLASS
Laminated, 10mm Clear Spacer Bar & Argon Gas (GLASS) TOUGHENED
GLAZED WITH TENSER GLAZING BEADS

FINISH
DOOR & FRAME: **STAINED** **T&C**
DOOR & FRAME: **STAINED** **T&C**

Spec: **10-08-16** (date) **AKM** (author) **MTB** (checked by) **25-14-04** (date)
Proj No: **2318-00** (date) **AKM** (author) **MTB** (checked by) **25-14-04** (date)

Office Address: **Adrian O'Flynn**
Address of Project: **Geraghty Joinery**

Prepared by: **Adrian O'Flynn**
Checked by: **Geraghty Joinery**

extract of drawing for two doors to the rear of the 20th century structure

Conservation Impact Assessment

The descriptions above and the Appendices below are a response to the request for additional information. The conservation report that accompanied the Section 5 Application contained, in a more concise fashion, both the descriptions and the impact assessments of the works for which the declaration on exemption is sought. The full conservation report is attached at Appendix 2 below. The assessment of the impacts of the various items to which the declaration relates are extracted from that report and summarised below.

The request for additional information does not specifically refer to the landscaping works to the front of nos.19 and 21 but, as can be clearly evidenced by the photographs above, these works have no material affect on the character of the protected structures.

Note: The terms used below are defined as follows:

Long-term: Impact lasting fifteen to sixty years.

Medium-term: Impact lasting seven to fifteen years.

Moderate: An impact that alters the character of the environment in a manner that is consistent with existing and emerging trends.

Slight: An impact which causes noticeable changes in the environment without affecting its sensitivities.

Neutral: A change which does not affect the quality of the environment.

Positive: A change which improves the quality of the environment.

This conservation assessment uses the terms above. The assessments below are based on those definitions, the analysis of the project and the author's view of the impacts.

The works involved to the historic structure since 2009 consist of:

1(a): The basement works, which allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;

1(c): The works to the front façades, which also allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;

2(c): The reinstatement of no.29 to two rooms. This work is slight, neutral and medium term; and

3: The corridor along the rear of no.25 Morehampton Road, which allows for the connection of nos.27 and 29 to the lift. This work is slight, neutral and medium term.

All of the works described above are reversible, in accordance with the charter of Venice. They impact on elements of the structures that are not, in the author's opinion, of any special interest and have been carried out in areas of the historic structure that had no extant elements of special interest.

In the author's opinion, the works to the historic structure described above do not materially affect the character of the historic parts of the structure or any element contributing to its special interest.

The works involved to the 20th / 21st century structure since 2009 consist of:

1(b): The conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms. These works are moderate, neutral and medium term;

1(d): Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure. These works are slight, neutral and medium term;

2(a): Relocation of existing fire escape, including partial roofing. These works are moderate, neutral and medium term;

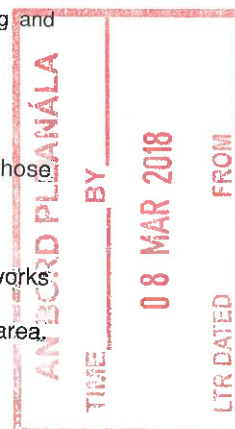
2(b): Modification of the first flight of the existing fire escape stairs from the main function room. This work is slight, neutral and medium term; and

4: The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens. These works are slight, positive and short to medium term;

In the author's opinion, the works to the 20th / 21st century structure described above consist of internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure. As with the works to the historic parts of the structure, they too are reversible.

Robin Mandal

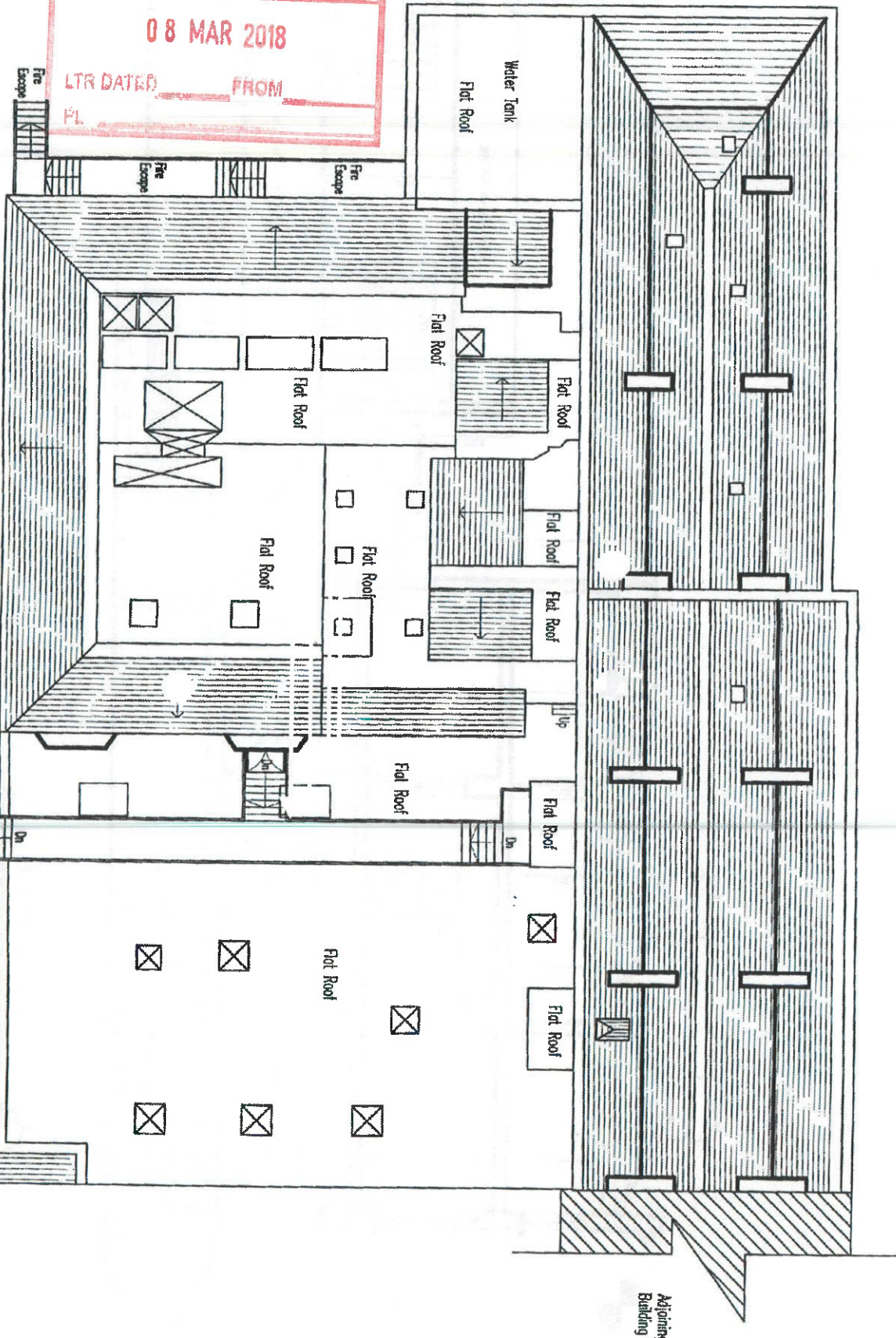
6th January 2017



hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

APPENDIX 1: RECORD DRAWINGS: 1980s unidentified author drawings; 1994 OMS drawing; 2006 Paul Corrigan drawing; 2007 RMA drawings; 2007 TOM drawings; 2010 Colm Traynor drawing; 2017 KBAD drawings; 2017 Geraghty Joinery drawings; and 2017 Knapton Fire Safety drawings.

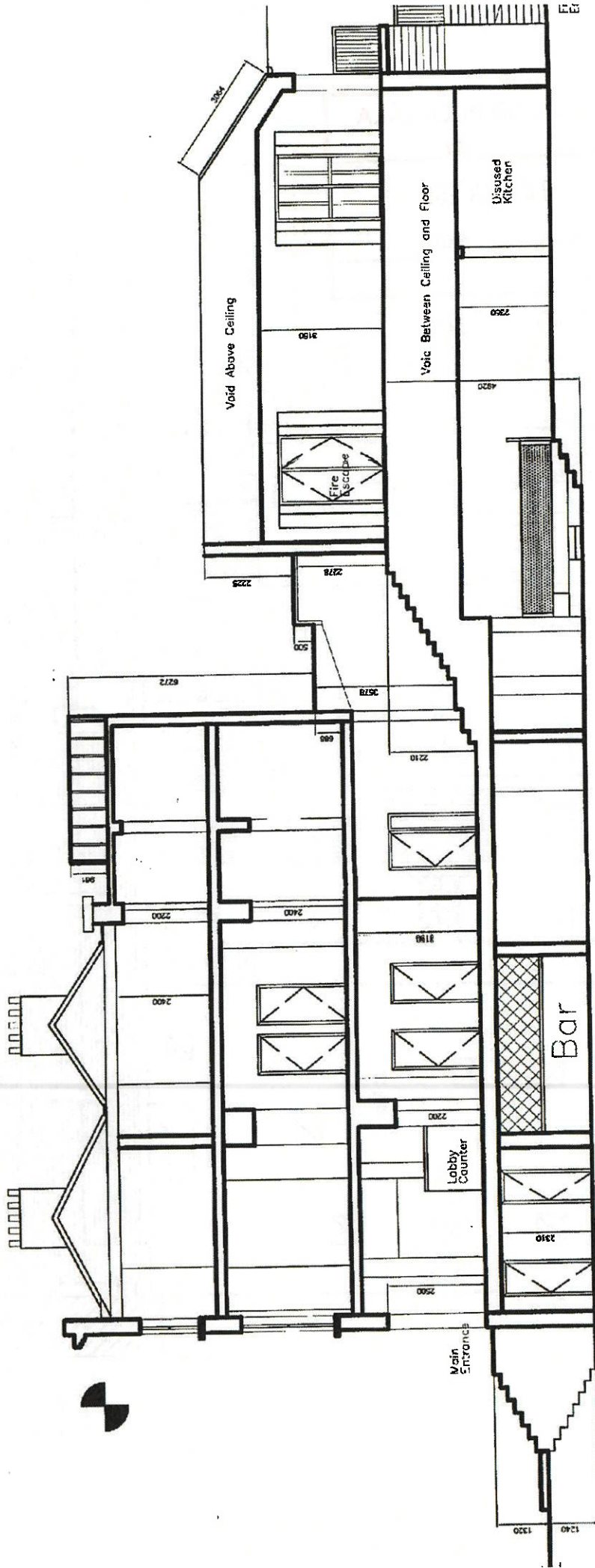
AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____



Roof Plan

1980S ROOF PLAN - AUTHOR UNIDENTIFIED



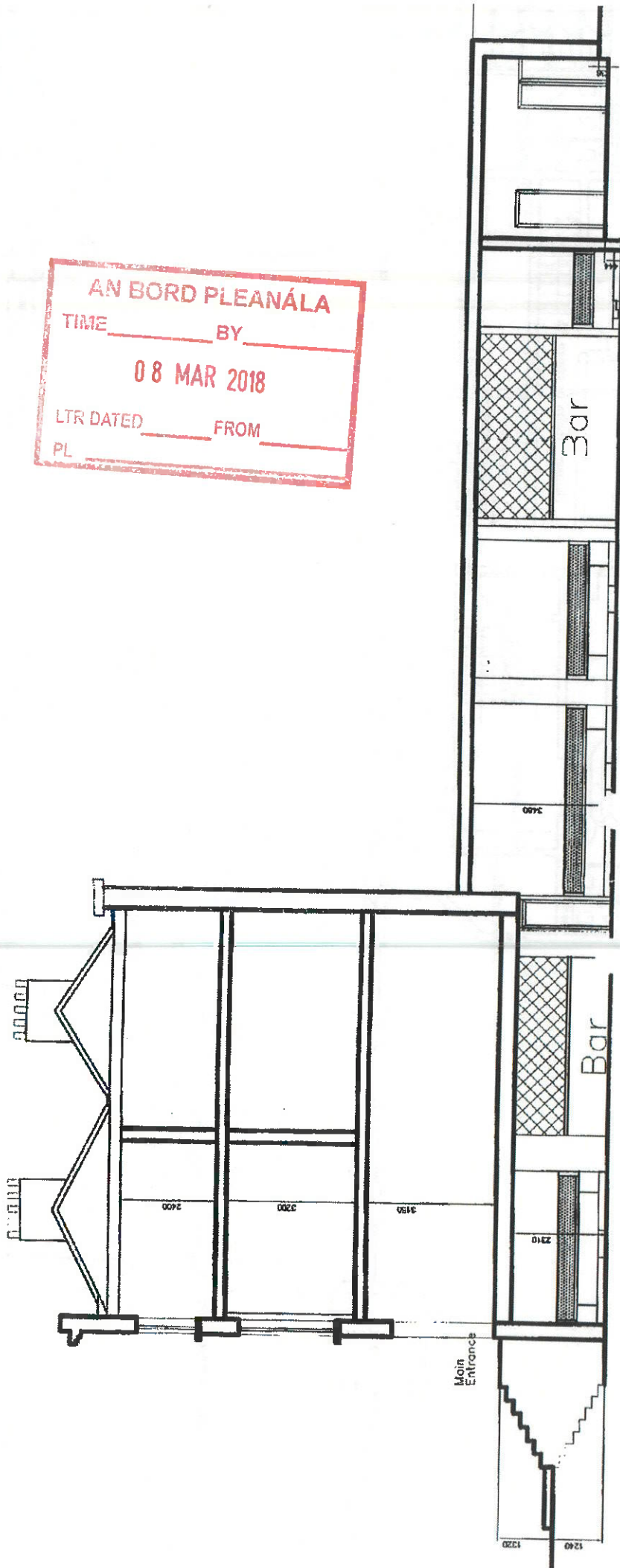


1880S SECTION - AUTHOR UNIDENTIFIED

Section A--A

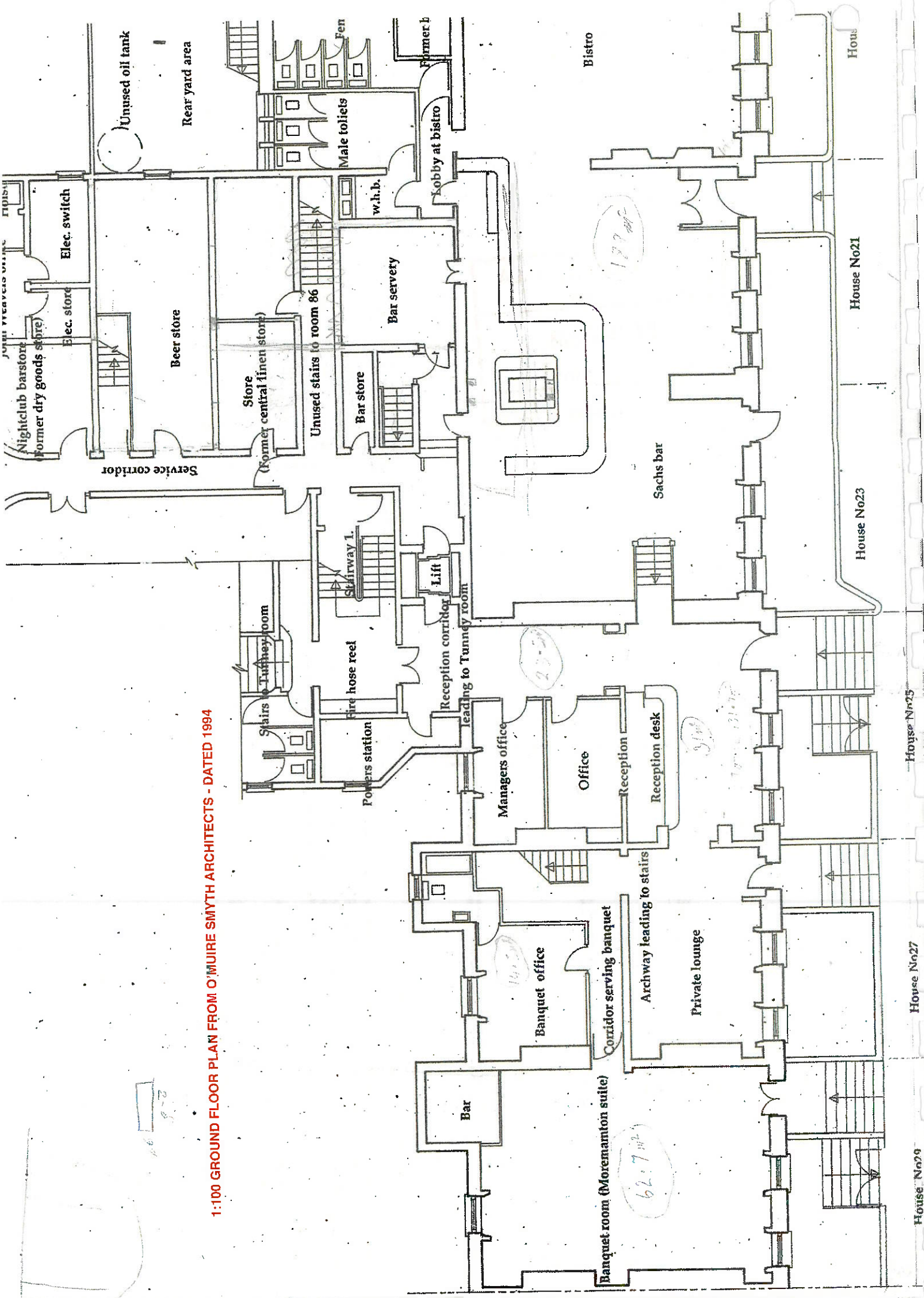


AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____



Section B-B

1985 SECTION - AUTHOR UNIDENTIFIED



1:100 GROUND FLOOR PLAN FROM O'MUIRE SMYTH ARCHITECTS - DATED 1994

JOHN YEAZLE ARCHITECTS

House No29

House No27

House No25

House No23

House No21

House

62:7 1/2

20-21

127

2-8



First Floor Plan

AN BORD PLEANALA
 TIME _____ BY _____
08 MAR 2018
 LTR DATED _____ FROM _____
 PL _____

Notes:
 This Survey was produced for original clients specification at time of instruction.
 If the survey is to be used by any other parties, or for purposes other than those originally considered,
 further details or higher accuracies may be required - Please contact PCA
 PCA take no responsibility for additions made by third parties to survey.
 Note: Accuracy of survey to plot scale

PAUL CORRIGAN AND ASSOCIATES
 Hillcrest House, Hillcrest Road
 Sandyford, Dublin 18
 tel (+353 1) 2136300
 fax (+353 1) 2136301
 info@pcac.ie



SACHTS HOTEL
1ST FLOOR INTERNAL
 PCA & ORIGINAL SURVEY COMB.

| | | |
|---|---------|-----------|
| Notes | Job No. | 06052901 |
| Grid: MA | Date | 27/6/2006 |
| Levels: MA | Scale | 1:200 |
| <small>* Accuracy and content of sheet is based on scale of map/plan. * Despite sign scale, (where shown) have been plotted from the original for every reason and should be regarded as approximate only.</small> | Drawn | OL |
| | Checked | PM |



Basement Floor Plan

Notes :

The Survey was produced for original clients specification at the of instruction.
 If the survey is to be used by any other parties, or for purposes other than those originally considered,
 further details or higher accuracies may be required - Please contact PCA
 PCA take no responsibility for additions made by third parties to survey.
 Note : Accuracy of survey to plot scale

PAUL CORRIGAN AND ASSOCIATES
 Hillcrest House, Hillcrest Road
 Sandycroft, Dublin 18
 tel (+353 1) 2136300
 fax (+353 1) 2136301
 info@pcac.ie



SACHS HOTEL
 BASEMENT INTERNAL
 PCA & ORIGINAL SURVEY COMB.

| | | |
|--|---------|-----------|
| Notes | Job No. | 06052901 |
| Grid : <i>Ab</i> | Date | 27/6/2006 |
| Levels : <i>Ab</i> | Scale | 1:200 |
| <small>* Accuracy and content of data is based on notes of mapping. * Drawing from data (Google Maps) from data supplied from * as appropriate only.</small> | Drawn | PM |
| | Checked | PM |

AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

LTR DATED _____ FROM _____

PL _____



P **C** **A**

PATIL CORREIGAN AND ASSOCIATES
 Hillcrest House, Hillcrest Road
 Sandycroft, Dublin 18
 tel (+353 1) 2136300
 fax (+353 1) 2136301
 info@pcac.ie

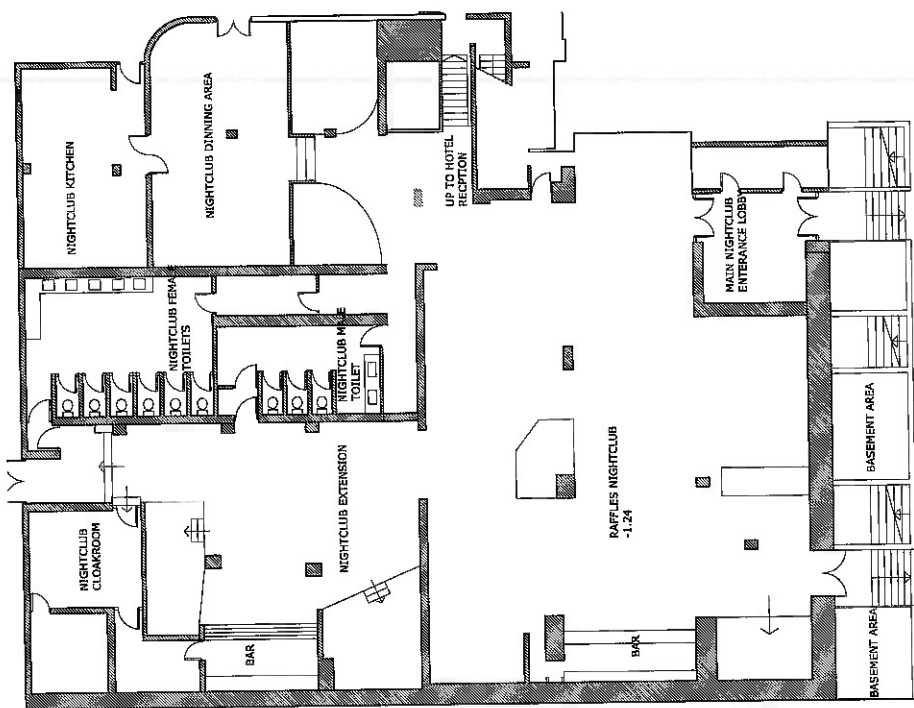
SACHS HOTEL
GROUND FLOOR INTERNAL

PCA & ORIGINAL SURVEY COMB.

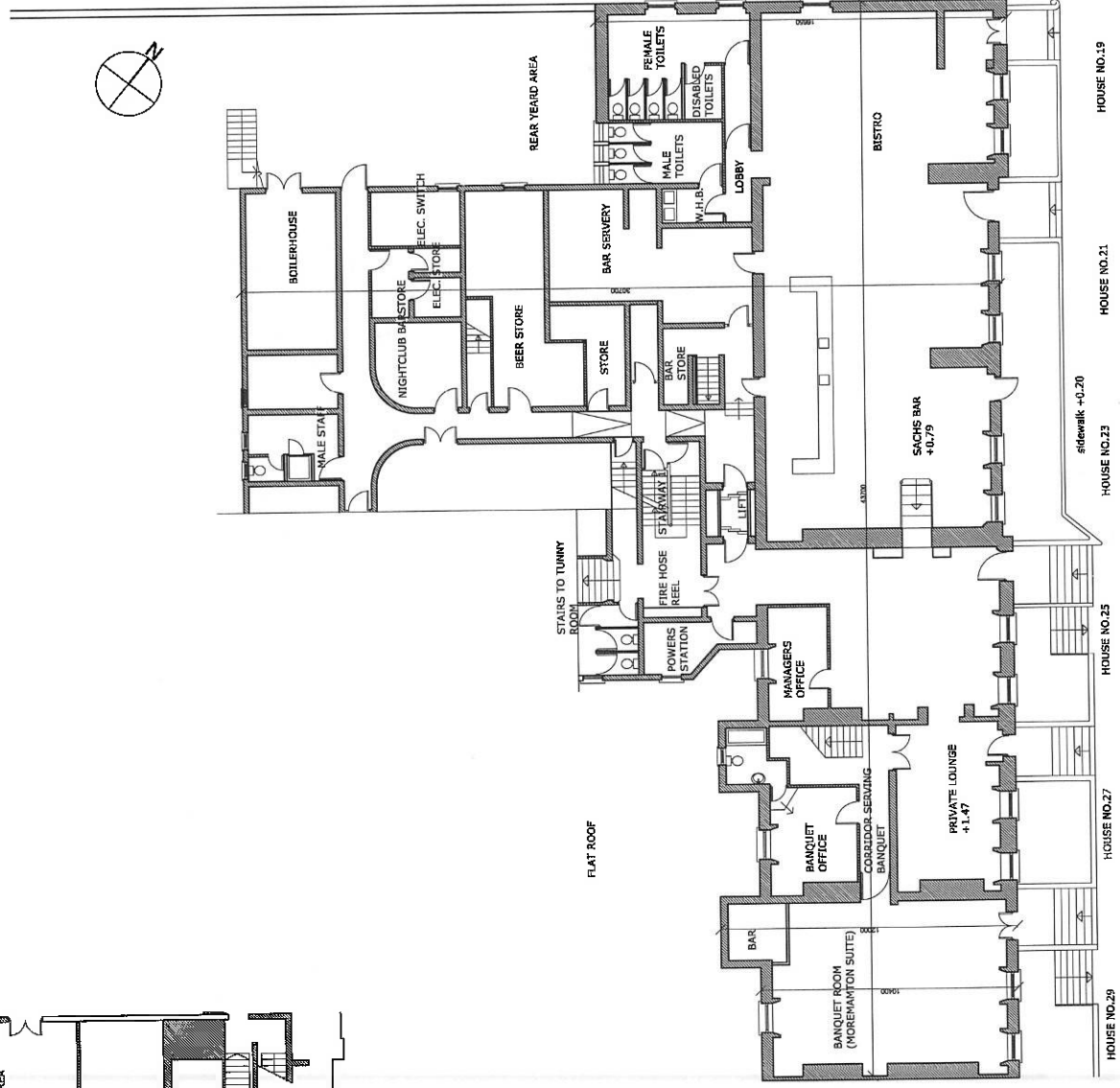
Notes:
 This Survey was produced for original clients specification at time of instruction.
 If the survey is to be used for any other parties, or for purposes other than those originally considered,
 further details or higher accuracies may be required - Please contact PCA
 PCA take no responsibility for additions made by third parties to survey.
 Note: Accuracy of survey to plot scale

| | | |
|------------------|---------|-----------|
| Notes | Job No. | 06052901 |
| Grid: <i>MA</i> | Date | 27/6/2006 |
| Scale: <i>MA</i> | Scale | 1:200 |
| | Drawn | JG |
| | Checked | PM |

* Accuracy and amount of detail is based on date of recording.
 * Drawing also dates (shown above) from when original data was recorded for safety reasons and should be retained as appropriate only.



BASEMENT PLAN 1:200



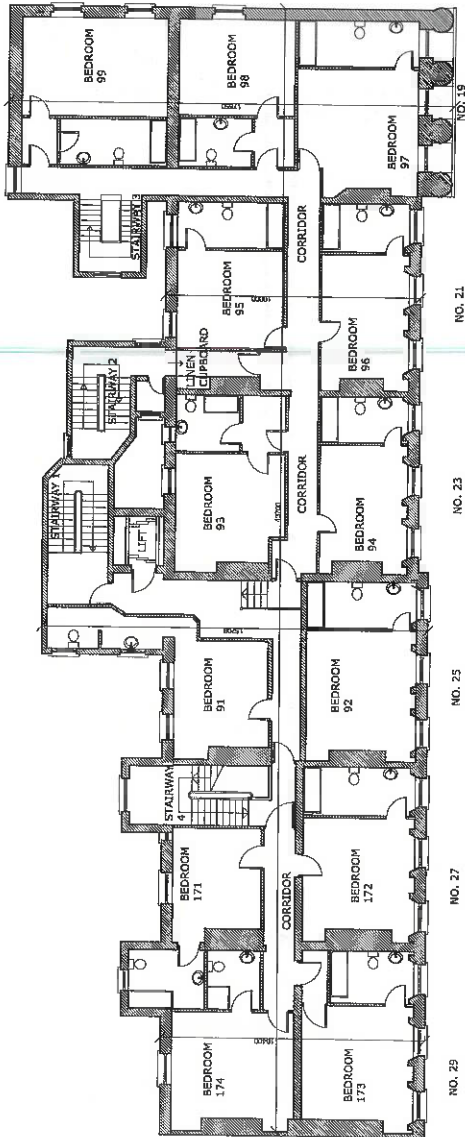
GROUND FLOOR PLAN 1:200

| | |
|--|---|
| REVISIONS THIS DRAWING IS COPYRIGHT PROTECTED. DIMENSIONS TO BE USED IN ALL CASES. | |
| CLIENT SEAWORTH LTD 86-89 MOREHAMPTON ROAD DUBLIN 4 | TITLE GROUND FLOOR PLAN BASEMENT PLAN |
| DATE 12/06/2008 | DRAWN ENF, LG |
| SCALE 1:200 | CHECKED ROBIN MANDAL |
| CAD FILE REF. 1331 | NUMBER REVISION |
| 1331_21 | |

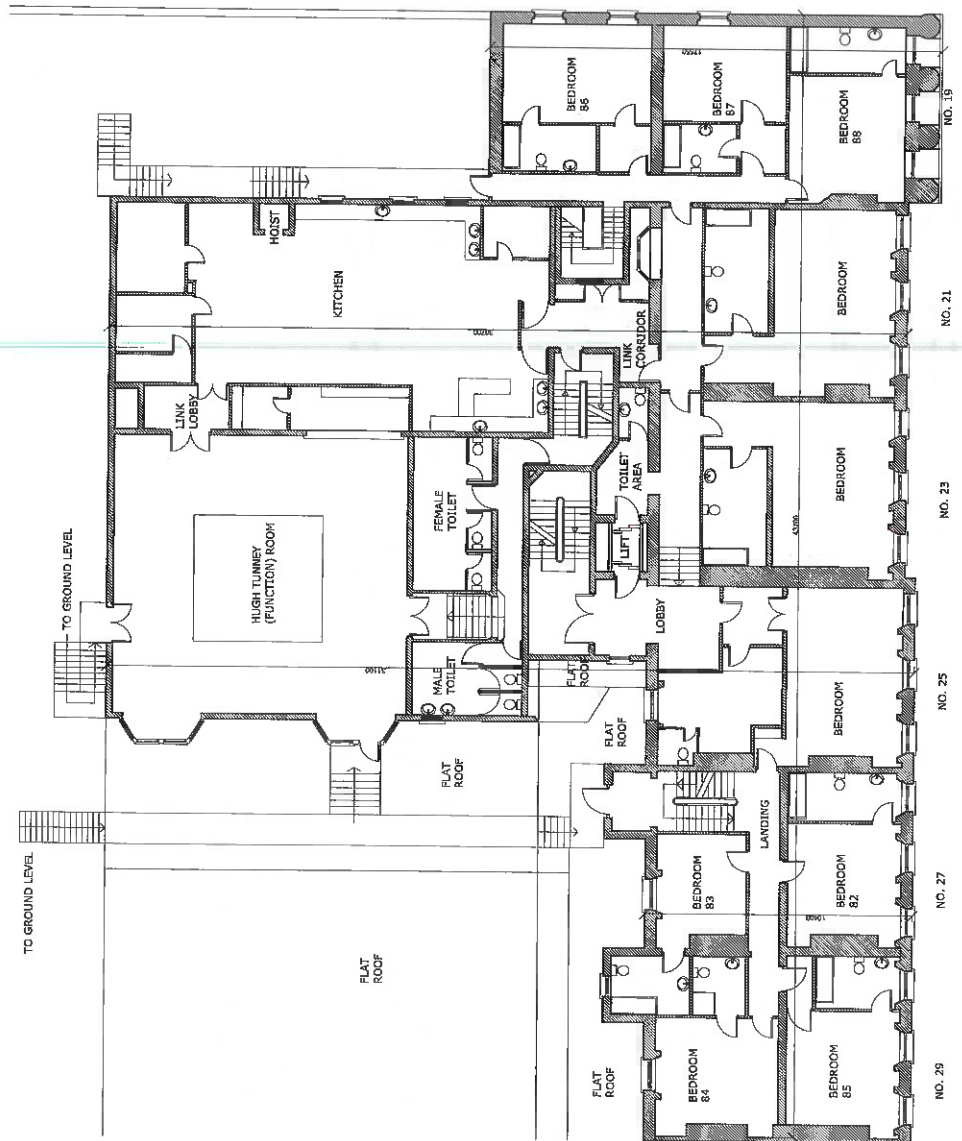
ROBIN MANDAL ARCHITECTS

MEETING HALL STUDIO
 73 GEORGES AVENUE
 BLACKROCK COUNTY DUBLIN

T (01) 2786194
 F (01) 2836923
 www.meetinghall.ie
 rmandal@meetinghall.ie



SECOND FLOOR PLAN 1:200



FIRST FLOOR PLAN 1:200

| NO. | REVISIONS |
|-----|-----------|
| | |

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 FIGURED DIMENSIONS TO BE USED IN ALL CASES.
 JOB

CLIENT
 GENPORE LTD
 19-29 ACHERHAMPTON ROAD
 DUBLIN 4

TITLE
 FIRST FLOOR PLAN
 SECOND FLOOR PLAN

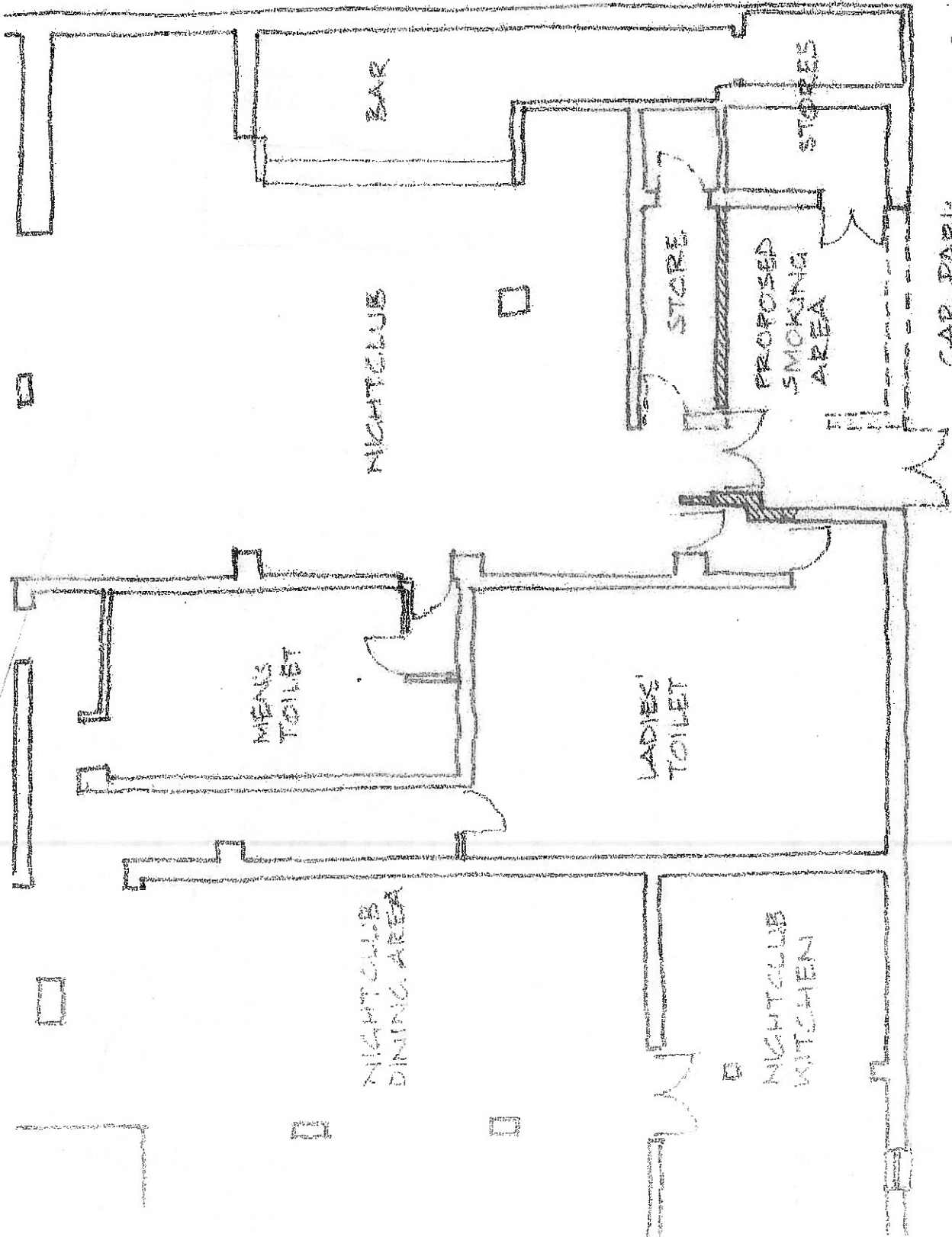
| | | | |
|---------------|-----------|---------|--------------|
| DATE | JUNE 2008 | DRAWN | REV. LG |
| SCALE | 1:200 | CHECKED | ROBIN MANDAL |
| CAD FILE REF: | 1331_131 | NUMBER | REVISION |
| | | | 1331_22 |

ROBIN MANDAL ARCHITECTS

MEETING HALL STUDIO
 73 GEORGE'S AVENUE
 BLACKROCK COUNTY DUBLIN

T (01) 2788164
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 W www.meetinghall.ie
 E rmm@meetinghall.ie

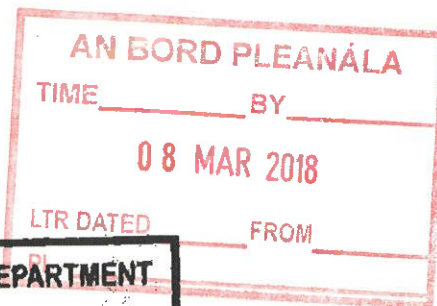
AN BORD PLEANÁLA
 TIME _____ BY _____
 08 MAR 2018
 LTR DATED _____ FROM _____
 PL _____



CAR PARK

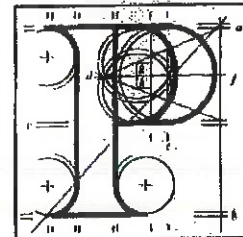
2007-230 4966

SACH'S HOTEL - BASEMENT
 PROPOSED ALTERATION: SOUTH CORNER
 SCALE 1:100 APPROX. DRG. 012-B1-SK
 TOAL O MUIRE, ARCHITECT 25.06.2007



Planning Section,
Dublin City Council
Civic Offices,
Wood Quay,
Dublin 8.

An Bord Pleanála



18 OCT 2011

Appeal Re: Demolish 1, 2, & 3 storey function rooms, kitchen and service rooms to rear of Hampton Hotel, internal alterations to protected structures and construction of 5,630sqm extension. Hampton Hotel, 19-29 Morehampton Road, Dublin 4.

Dear Sir/Madam,

An order has been made by An Bord Pleanála determining the above-mentioned appeal under the Planning and Development Acts 2000 to 2011. A copy of the order is enclosed.

Your attention is drawn to section 34(13) of the Planning and Development Act 2000 which provides that "a person shall not be entitled solely by reason of a permission under this section to carry out any development".

In accordance with section 146(3) of the Planning and Development Act 2000, the Board will make available for inspection and purchase at its offices the documents relating to the appeal within 3 working days following its decision. In addition, the Board will also make available the Inspector's Report and the Board Direction on the appeal on its website (www.pleanala.ie). This information is normally made available on the list of decided cases on the website on the Wednesday following the week in which the decision is made.

Yours faithfully,

Miriam Baxter
Executive Officer

Encl.

BP 103n.ltr



64 Sráid Maoilbhríde,
Baile Átha Cliath 1.

Tel: (01) 858 8100
LoCall: 1890 275 175
Fax: (01) 872 2684
Web: <http://www.pleanala.ie>
email: bord@pleanala.ie

64 Marlborough Street,
Dublin 1.

02 DEC 2008



Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

Cláríann / Cinní Pleanála
An Roinn Pleanála agus Forbartha, Cláríann / Cinní
Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8
Registry T: (01) 222 2149 / F: (01) 222 2675
Decision T: (01) 222 2288 / F: (01) 222 2271

01-Dec-2008

Robin Mandal Architects
The Meetinghall
73, George's Avenue
Blackrock
Co. Dublin

| | |
|--------------------|--|
| Application Number | 0596/08 |
| Application Type | Section 5 |
| Registration Date | 31-Oct-2008 |
| Decision Date | 28-Nov-2008 |
| Decision Order No. | P5311 |
| Location | Sachs Hotel, 19-29, Morehampton Road, Dublin 4 |
| Proposal | The replacement of four existing circa 15 metre high trees (one Norway Maple, two Limes and one Ash) by eight semi-mature (approximately 5 metres high) Lime trees supplied and planted by SAP Landscapes. |
| Applicant | Genport Limited |

NOTIFICATION OF DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

In pursuance of its functions under the Planning & Development Act 2000, Dublin City Council has by order dated 28-Nov-2008 decided to issue a Declaration that the above proposed development is EXEMPT from the requirement to obtain planning permission under Section 32 of the Planning & Development 2000.

Reasons & Considerations:

These works, which include the replacement of four existing circa 15 metre high trees (one Norway Maple, two Limes and one Ash) by eight semi-mature (approximately 5 metres high) Lime trees is considered exempted development under the meaning of section 4 (1) (i) and section 57 (1) of the Planning and Development Act 2000.

Signed on behalf of Dublin City Council


for Assistant City Manager

Note:

NOT1section5(exempt)


Head Office, Civic Offices, Wood Quay, Dublin 8, Ireland
Ceannofig, Oifigí na Cathrach, An Ché Adhmaid, B.Á.C. 8, Éire

T. 01 222 2222 www.dublincity.ie

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2018
LTR DATED _____ FROM _____
PL _____

- Renew existing concrete footpath, carparking area and driveway, maintaining the existing layout and extent. On condition that the existing layout is maintained and the balustrade is reinstated.
- Relay existing deck area in front of numbers 23 and 21 to allow for ramped access to the building, including new railing balustrade to match the original railings, and the replacement of the existing new railings in front of numbers 23 and 21 with railings to match the existing. On condition that the existing plinth wall is reused, any new granite required is Leinster granite and the replacement railings are exact replicas of the original (in terms of design, scale and materials).

Signed on behalf of Dublin City Council


for Assistant City Manager

Note:

Any person issued with a declaration on development and exempted development, may on payment of the prescribed fee, refer a declaration for review by an Bord Pleanála within four weeks of the date of the issuing of the declaration.

Planning Registry & Decisions, Planning Department
Civic Offices Wood Quay, Dublin 6

Cláranna / Cinnlí Pleanála
An Roinn Pleanála agus Forbartha, Clárann / Cinnlí
Oifig na Cathrach, An Ché Adhmaid, Baile Átha Cliath 6
Registry T: (01) 222 2149 / F: (01) 222 2675
Decision T: (01) 222 2288 / F: (01) 222 2271

25-Jul-2008

PCL Halpenny Solicitors
96, George's Street Upper
Dun Laoghaire
Dublin

| | |
|--------------------|---|
| Application Number | 0221/08 |
| Application Type | Section 5 |
| Registration Date | 13-Jun-2008 |
| Decision Date | 25-Jul-2008 |
| Decision Order No. | P3397 |
| Location | Sachs Hotel, 19-29, Morehampton Road, Dublin 4 |
| Proposal | EXPP - renew existing awnings to front elevation, replacing like for like; replace 5 no. existing later doors with new doors to match the existing on house number 27, plus basement door with new glass canopy in lieu of existing : renew existing concrete footpath, car parking area and driveway, maintaining the existing layout and extent; relay existing deck area in front of numbers 23 and 21 to allow for ramped access to the building, including new railing balustrade to match the original railings, and the replacement of the existing new railings in front of numbers 23 and 21 with railings to match the existing. Work including necessary opening up and reinstatement to be subject to inspections by Robin Mandal, Conservation Architect appointed by Genport Limited. |
| Applicant | Genport Limited, C/O PCL Halpenny Solicitors |

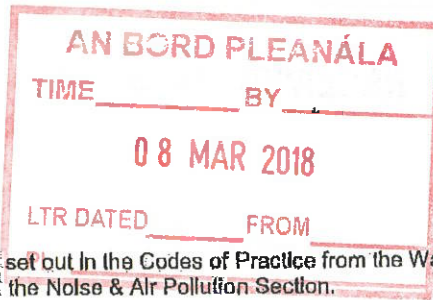
NOTIFICATION OF DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

In pursuance of its functions under the Planning & Development Act 2000, Dublin City Council has by order dated 25-Jul-2008 decided to issue a Declaration that the above proposed development is EXEMPT from the requirement to obtain planning permission under Section 32 of the Planning & Development 2000.

Reasons & Considerations:

It is considered that the following work would come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 and would not materially affect the character of the Protected Structure and therefore would not require planning permission:

- *Renew existing awnings to front elevation, replacing like for like: On condition that awnings are replaced on a like for like basis.*
- *Replace 5 no. existing later doors with new doors to match the existing on house number 27.*
- *Replace existing canopy to basement with new glass canopy in lieu of existing.*



2. The developer shall comply with the requirements set out in the Codes of Practice from the Water Division, Drainage Division, the Roads Streets & Traffic Department and the Noise & Air Pollution Section.

Reason: To ensure a satisfactory standard of development.

3. (a) The site and building works required to implement the development shall only be carried out between the hours of

Mondays to Fridays - 7.00am to 6.00pm
Saturday - 8.00 a.m. to 2.00pm
Sundays and Public Holidays - No activity on site.

(b) Deviation from these times will only be allowed in exceptional circumstances where prior written approval has been received from Dublin City Council. Such approval may be given subject to conditions pertaining to the particular circumstances being set by Dublin City Council.

Reason: In order to safeguard the amenities of adjoining residential occupiers.

4. A conservation expert shall be employed to manage, monitor and implement the works on site and to ensure adequate protection of the historic fabric during the works.

Reason: To ensure that the integrity of the protected structure is maintained.

5. All works shall be carried out in accordance with best conservation practice and the Architectural Heritage Protection Guidelines Issued by the DoEHLG. The repair works shall retain the maximum amount of surviving historic fabric in situ, including structural elements, plasterwork (plain and decorative) and joinery and shall be designed to cause minimum interference to the building's structure and/or fabric.

Reason: To ensure that the integrity of the protected structure is maintained.

Signed on behalf of the Dublin City Council

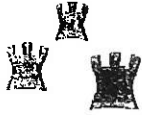
for Assistant City Manager

Date

04/03/2018

YOUR ATTENTION IS DRAWN TO THE REQUIREMENTS OF THE ATTACHED 'CODES OF PRACTICE'

N.B. IT SHOULD BE CLEARLY UNDERSTOOD THAT THE GRANTING OF PLANNING PERMISSION DOES NOT RELIEVE THE DEVELOPER OF THE RESPONSIBILITY OF COMPLYING WITH ANY REQUIREMENTS UNDER OTHER CODES OF LEGISLATION AFFECTING THE PROPOSAL AND THAT A PERSON SHALL NOT BE ENTITLED BY REASON OF A PLANNING PERMISSION TO CARRY OUT ANY DEVELOPMENT.



RECEIVED 24 APR 2008

RECEIVED 27 APR 2008

Dublin City Council

Comhairle Cathrach Bhaile Átha Cliath

Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

Clárán / Cinní Pleanála
An Roinn Pleanála agus Forbartha, Clárán / Cinní
Oifig na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8
Registry T: (01) 222 2149 / F: (01) 222 2676
Decision T: (01) 222 2288 / F: (01) 222 2271

Robin Mandel Architects
Meeting Hall
73, Georges Avenue
Blackrock
Co Dublin

THIS IS AN IMPORTANT LEGAL DOCUMENT AND SHOULD BE PLACED WITH YOUR TITLE DEEDS

| | |
|---------------------|---|
| Application No. | 6773/07 |
| Registration Date | 21-Dec-2007 |
| Decision Date | 21-Feb-2008 |
| Decision Order No | P0885 |
| Date of Final Grant | 04-Apr-2008 |
| Grant Order No | P1482 |
| Location | Sachs Hotel, 19-29, Morehampton Road, Dublin 4 |
| Proposal | PROTECTED STRUCTURE - Retention of the following works to Sachs Hotel 1) At second floor level, form new door between nos 25 and 27 to allow level access from the lift into nos 27 and 29; 2) At first floor level, form new door between nos 19 and 21, to allow level access from the lift into no 19; Alter former restaurant in nos 21, 23 and 25 to bedroom suites; relocate modern flight of stairs between nos 23 and 25 to the rear wall, blocking existing ope and forming a new ope; form new door between nos 25 and 27, for house keeping purposes; install fireproof suspended ceilings below existing ceilings in nos 27 and 29, retaining existing ceilings in-situ; relocate firefront from the front room of no 25 to the ground floor front room of no 27 3) At ground floor level, install fireproof suspended ceiling below 1970s ceiling in no 29 and below the existing ceiling in the rear room of no 27 retaining existing ceiling in-situ; install relocated firefront from first floor front room of no 25 to ground floor front room of no 27. |
| Applicant | Genport Ltd 19 - 29, Morehampton Road, Dublin 4 |
| Application Type | Permission |

NOTIFICATION OF GRANT OF PERMISSION

PERMISSION for the development described above has been granted under the Planning & Development Act 2000 subject to the following conditions.

Condition(s) and Reasons for Condition(s)

1. Insofar as the Planning & Development Act 2000 to 2008 and the Regulations made thereunder are concerned the development shall be retained in accordance with the plans, particulars and specifications lodged with the application, save as may be required by the conditions attached hereto. For the avoidance of doubt, this permission shall not be construed as approving any development shown on the plans, particulars and specifications, the nature and extent of which has not been adequately stated in the statutory public notices.

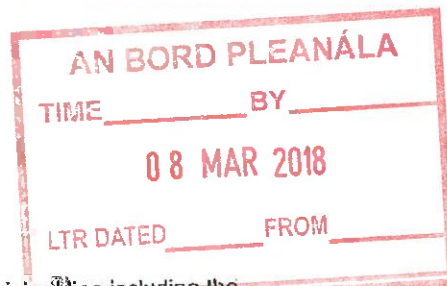
Reason: To comply with permission regulations.

NOT2perm1/2

6773/07

Head Office, Civic Offices, Wood Quay, Dublin 8, Ireland
Ceannofig, Oifig na Cathrach, An Ché Adhmaid, B.Á.C. 8, Éire

T. 01 222 2222 www.dublincity.ie



traditional material. This should restore the original line including the complete reinstatement of any unauthorised removal of sections, particularly at north entrance.

SCHEDULE 2

B. It is considered that the following work would not come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 and would materially affect the character of the Protected Structure and therefore would require planning permission:

1. Install suspended ceiling below 1970s ceiling in Morehampton suite 29 and below existing ceiling in the banquet office rear of 27 retaining the existing ceiling above.
2. Alter first floor level, to provide level access corridor from existing lift to bedrooms in 19.
3. Convert former restaurant to bedrooms suites in 21, 23 and 25.
4. At first floor provide service access door from 25 into stairway of 27 and install suspended ceilings below the existing ceilings in 27 and 29, retaining the existing ceiling above.
5. Relocate the existing fireplace from the first floor of no. 25 to the ground floor lounge of no. 27, its original location and fill niches in opposite sides of 21/23 first floor party wall.
6. Alter second floor levels to provide level access from existing lift to bedrooms in 27 and 29 by relocating bathrooms in rear room of 25.

Mr. Stubbs

Michael Stubbs
Assistant City Manager

15/11/07
Date

To whom the appropriate powers have been delegated by order of the City Manager dated 15th November 2007.

5. Reconfigure 1970s bathrooms at first and second floor levels to eliminate L shaped and U shaped room plans.
6. Repair existing windows on front elevation to best conservation practice.
7. Refurbish existing semi-basement nightclub/function room area.
8. Work including necessary opening up and reinstatement to be subject to inspections by conservation architect.
9. Conservation of the balustrade according to method statement using traditional material. This should restore the original line including the complete reinstatement of any unauthorised removal of sections, particularly at north entrance.

It is considered that the following work would not come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 and would materially affect the character of the Protected Structure and therefore would require planning permission:

1. Install suspended ceiling below 1970s ceiling in Morehampton suite 29 and below existing ceiling in the banquet office rear of 27 retaining the existing ceiling above.
2. Alter first floor level, to provide level access corridor from existing lift to bedrooms in 19.
3. Convert former restaurant to bedrooms suites in 21, 23 and 25.
4. At first floor provide service access door from 25 into stairway of 27 and install suspended ceilings below the existing ceilings in 27 and 29, retaining the existing ceiling above.
5. Relocate the existing fireplace from the first floor of no. 25 to the ground floor lounge of no. 27; its original location and fill niches in opposite sides of 21/23 first floor party wall.
6. Alter second floor levels to provide level access from existing lift to bedrooms in 27 and 29 by relocating bathrooms in rear room of 25. *from*

Secy Bate
for Administrative Officer

ORDER: In accordance with the above recommendation and having regard to the provisions of the Development Plan, I decide to GRANT EXEMPTION CERTIFICATE specified in schedule 1

and REFUSE EXEMPTION CERTIFICATE set out in schedule 2.

SCHEDULE 1

1. Renew 1970s external render on the rear wall of the hotel as long as traditional lime render is used.
2. Renew or upgrade 1970s and later finishes, joinery and fittings throughout the hotel, including ground floor bar 19, 21, 23 and hotel reception.
3. Alter existing 1970s service rooms to rear of bar and alter existing bar toilets to incorporate wheelchair users WC.
4. Remove fireplace in 27, bought and installed by landlord in 1970s, repair and store for future use.
5. Reconfigure 1970s bathrooms at first and second floor levels to eliminate L shaped and U shaped room plans.
6. Repair existing windows on front elevation to best conservation practice.
7. Refurbish existing semi-basement nightclub/function room area.
8. Work including necessary opening up and reinstatement to be subject to inspections by conservation architect.
9. Conservation of the balustrade according to method statement using

AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

LTR DATED _____ FROM _____

DUBLIN CITY COUNCIL
ORDER OF THE ASSISTANT CITY MANAGER
PLANNING & DEVELOPMENT ACTS 2000 - 2006

15 MAR 2007

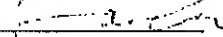
| | |
|--------------------|--|
| Plan Number | 0759/07 |
| Application Type | Section 5 |
| Date Received | 18-Oct-2007 |
| Date of Decision | |
| Decision Order No. | P6215 |
| Location | Sachs Hotel, 19-29, Morehampton Road, Dublin 4 |
| Proposal | Supplemental to works described in existing Section 5 declaration: Renew 1970's external render on rear wall of hotel. Renew or upgrade 1970's and later finishes, joinery and fittings throughout the hotel, including ground floor bar (19,21 and 23) and hotel reception (25). Alter existing 1970's service rooms to rear of bar, and alter existing 1970s bar toilets to incorporate wheelchair users. W.C. Install suspended ceiling below 1970s ceiling in Morehampton Suite (29) and below existing ceiling in the Banquet Office (rear of 27), retaining the existing ceiling above. Relocate the existing fireplace from the first floor of no. 25 to the ground floor lounge of no. 27, its original location and fill niches in opposite sides of 21/23 first floor party wall. Remove fireplace in no. 27, bought and installed by landlord in 1970s, repair and store for future reuse. Alter first floor level, to provide level access corridor from existing lift to bedrooms in no. 19 and convert former restaurant to bedroom suites in nos. 21, 23 and 25. Also at first floor provide service access door from 25 into stairway of no. 27; and install suspended ceilings below the existing ceilings in nos. 27 and 289, retaining the existing ceilings above. Reconfigure 1970s bathrooms at first and second floor levels to eliminate L-shaped and U-shaped room plans. Alter second floor level to provide level access from existing lift to bedrooms in nos. 27 and 29 by relocating bathroom in rear room of no. 25. Repair existing windows on front elevation by 'Ventrolia' or 'The Historic Sash Company', or equal approved. Refurbish existing semi-basement night club/function area. Work including necessary opening up and reinstatement to be subject to inspections by Robin Mandal, Conservation Architect appointed by Genport Limited. |
| Applicant | Genport Limited c/o PCL Halpenny Solc. 96, George's Street Upper, Dun Laoghaire, Dublin |

With reference to the above application received.

With reference to the above application received it is considered that the following work would come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 and would not materially affect the character of the Protected Structure and therefore would not require planning permission on condition that this work is carried out to best practice by experienced personnel and is closely supervised at all times:

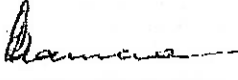
1. Renew 1970s external render on the rear wall of the hotel as long as traditional lime render is used.
2. Renew or upgrade 1970s and later finishes, joinery and fittings throughout the hotel, including ground floor bar 19, 21, 23 and hotel reception.
3. Alter existing 1970s service rooms to rear of bar and alter existing bar toilets to incorporate wheelchair users WC.
4. Remove fireplace in 27, bought and installed by landlord in 1970s, repair and store for future use.

works will require an additional section 5 application to ensure that the works do not require planning permission.

SIGNED: 
for Administrative Officer

DATE: 21/2/07

ORDER: In accordance with the above recommendation, I decide to issue, under Section 5 of the Planning & Development Act 2000, a declaration that the above proposed development is EXEMPT from the requirement to obtain planning permission under Section 32 of the Planning & Development 2000.

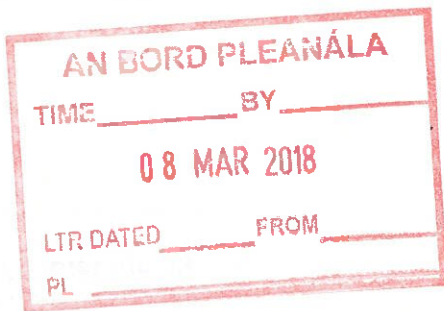


Ciaran McNamara
Executive Manager

21.02.2007

Date

To whom the appropriate powers have been delegated by order of the City Manager dated 31st January 2007.



0028/07

P1117

DUBLIN CITY COUNCIL
PLANNING & DEVELOPMENT DEPARTMENT
ORDER OF THE EXECUTIVE MANAGER

PLANNING & DEVELOPMENT ACT 2000
PLANNING & DEVELOPMENT REGULATIONS 2001

21 FEB 2007

| | |
|--------------------|--|
| Application Number | 0028/07 |
| Application Type | Section 5 |
| Registration Date | 17-Jan-2007 |
| Decision Date | |
| Decision Order No. | P1117 |
| Location | Sachs Hotel, 19-29, Morehampton Road, Dublin 4 |
| Proposal | Repair leaks in valley gutters, parapet gutters and rooflights above 19, 21 and 23 Morehampton Road, and renew locally the damaged areas of artificial slate. Remove bitumen/hessian and other roofing overlays at 25, 27 and 29 Morehampton Road and reinstate using Welsh slate and Code 5 lead guttering to Lead Sheet Association recommendations. In bedrooms and corridors below, complete the upgrading of post 1960 sanitary fittings, doors, plaster, tiles, skirting, wallpaper, paint, electrical/heating installation; and fit dados and radiator covers. Renew missing lower sash in existing damaged window to rear of hotel. Cut out/renew area of cracked asphalt and plywood roofing above first floor kitchen passage and other roofing as necessary. Renew external access panels and bird screens as necessary to protect building interior. Install timber duck boarding, i.e walkways as necessary for gutter maintenance. Work including necessary opening up and reinstatement to be subject to inspections and approval by Robin Mandal, Conservation Architect appointed by Genport Limited. |
| Applicant | Genport Limited, c/o PCL Halpenny Sol. 96, George's Street Upper, Dun Laoghaire, Dublin |

RECOMMENDATION: I hereby endorse the recommendation of the Deputy City Planning Officer to declare that the above-proposed development is EXEMPT from the requirement to obtain planning permission.

REASONS & CONSIDERATIONS:

1. Repair leaks in valley gutters, parapet gutters and roof lights above Nos 19, 21, and 23 and renew locally the damaged areas of artificial slates using appropriate materials namely lead and lime mortar.
2. Remove bitumen/Hessian and other roofing overlays at Nos 25, 27 and 29 and reinstate using Welsh slate and Code 5 lead guttering to Lead Sheet Association recommendations.
3. In bedrooms and corridors below, complete the upgrading of post 1960 sanitary fittings, doors, plaster, tiles, skirting, wallpaper, paint, electrical/heating installation and fit dado rail and radiator covers.
4. Renew missing lower sash in existing damaged window to rear of hotel to match existing profiles.
5. Cut out/renew area of cracked asphalt and plywood roofing above first floor kitchen passage and other roofing as necessary.
6. Renew external access panels and bird screens as necessary to protect building interior.
7. Install timber duck boarding i.e. walkways as necessary for gutter maintenance.
8. Opening up and reinstatement to be subject to inspections and approval by conservation architect appointed by owner with minimum damage to the original fabric. Major structural

DUBLIN CITY LIBRARY AND ARCHIVE

REQUEST FOR RETRIEVAL OF PLANNING APPLICATION FILES

Return form by email to
cityarchives@dublincity.ie
or post to: Dublin City
Library & Archive, 138-144
Pearse St , Dublin 2

Contact Details of Requestor:

| | |
|------------|--|
| Name | Toal Ó Muiré Architect |
| Address: | 39 Windsor Road, Rathmines, Dublin 6 |
| Email | tomuire@gmail.com |
| Telephone: | <u>086-2588220</u> |

Max 6 plan files per order form

| Plan File Number | Postal Address of Site or Building (if none give description sufficient to identify) |
|------------------|--|
| 1926/72A | 19 Morehampton Road, Dublin 4 |
| 2204/74 | 21/25 Morehampton Road, Dublin 4 |
| 245/75 | 21/25 Morehampton Road, Dublin 4 |
| 3309/75 | 19, 27 & 29 Morehampton Road, Dublin 4 |
| 1751/83 | 19/29 Morehampton Road, Dublin 4 |
| | |

A standard delivery charge of Euro 50.00 (Fifty Euros) will apply to each order.

A further pull charge of Euro 5.00 (five Euros) will apply to each individual Plan File requested on an order form.

I the undersigned have read Dublin City Archives Protocols Governing Retrieval of Planning Application Files and agree to the terms and conditions within:

(please tick)

Name *Toal Ó Muiré*

Date: *28 Nov 2017*

| | |
|-------------------------|------------|
| AN BORD PLEANÁLA | |
| TIME _____ | BY _____ |
| 08 MAR 2018 | |
| LTR DATED _____ | FROM _____ |
| PL _____ | |

Planning & Property Development Department
Dublin City Council, Block 4, Floor 3, Civic Offices, Wood Quay, Dublin 8

An Roinn Pleanála & Forbairt Maoine
Bloc 4, Urlár 3, Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8

T: (01) 222 2288 / F: (01) 222 2271

24-Nov-2017

Manahan and Associates,
Chartered Town Planners,
38, Dawson Street,
Dublin 2.

THIS IS AN IMPORTANT LEGAL DOCUMENT AND SHOULD BE PLACED WITH YOUR TITLE DEEDS

| | |
|---------------------|---|
| Application No. | 0320/93 |
| Registration Date | 11-Mar-1993 |
| Decision Date | 13-Apr-1993 |
| Decision Order No | 0752 |
| Date of Final Grant | 27-May-1993 |
| Grant Order No | 1118 |
| Location | Sachs Hotel, 19/29, Morehampton Road, Dublin, 4. |
| Proposal | Retain new water tank and supporting structure at rear of flat roof and erect white opaque cladding to screen same. |
| Applicant | Genport Limited, |
| Application Type | Permission |

NOTIFICATION OF GRANT OF PERMISSION

PERMISSION for the development described above has been granted under the Planning & Development Acts 2000 (as amended) subject to the following conditions.

Condition(s) and Reasons for Condition(s)

The development to be retained in accordance with the plans, particulars and specifications lodged with the application save as may be required by the conditions attached hereto. REASON: To comply with permission regulations.
The proposed cladding to be erected within three months of the date of this permission. REASON: In the interest of visual amenity.
The requirements of the Engineering Department (Waterworks and Main Drainage Divisions) shall be complied with in the development. REASON : To achieve a satisfactory standard of development.

- Your attention is drawn to the requirements of the attached "Codes of Practice".

| | |
|-------------|---|
| Schedule A: | Drainage Division |
| Schedule B: | Roads, Streets & Traffic Division |
| Schedule C: | Air Quality Monitoring and Noise Control Unit |

N.B. It should be clearly understood that the granting of Planning Permission does not relieve the developer of the responsibility of complying with any requirements under other Codes or

SECOND SCHEDULE (contd).

2. The hotel car park at the rear shall not be extended into the southern section at the rear of numbers 35/41 Morehampton Road.

Reason: To protect the occupants of these properties from noise and nuisance, particularly late at night, arising from such a use.

3. The proposed roof garden over the area to be used as a store and fire exit shall be omitted.

Reason: To prevent overlooking of adjoining residential properties and interference with the domestic amenities of the occupants.



Eoghan B. Brangan

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 7th day of February 1985.

PL 29/5/65068

| | |
|------------------|------------|
| AN BORD PLEANÁLA | |
| TIME _____ | BY _____ |
| 08 MAR 2018 | |
| TR DATED _____ | FROM _____ |

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 TO 1983
Dublin County Borough

Planning Register Reference Number: 1751/83

APPEAL by Genport Limited of Sachs Hotel, Morehampton Road, Donnybrook, Dublin, against the decision made on the 5th day of September, 1983, by the Right Honourable the Lord Mayor, Aldermen and Burgesses of Dublin to refuse permission for development at Sachs Hotel, 19/29 Morehampton Road, Donnybrook, Dublin, comprising retention of single-storey extension at rear and conversion to storage use, roof garden over extension and additional carparking to rear of numbers 35/41 Morehampton Road, in accordance with plans and particulars lodged with Dublin Corporation:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1983, it is hereby decided, for the reasons set out in the First Schedule hereto, to grant permission for the said development in accordance with the said plans and particulars, subject to the conditions specified in the Second Schedule hereto, the reasons for the imposition of the said conditions being as set out in the said Second Schedule and the said permission is hereby granted subject to the said conditions.

FIRST SCHEDULE

Having regard to conditions on site and provided the conditions set out in the Second Schedule hereto are complied with, the use of this internal unused section of the building as a store would not be contrary to the proper planning and development of the area.

SECOND SCHEDULE

1. The use shall be confined strictly to storage and particularly of items at present stored in the open on the rear car park. The northern section shall accommodate the fire exit as required by the Chief Fire Officer of the planning authority.

Reason: In the interests of amenity and particularly the domestic amenities of adjoining neighbours.

CORPORATION OF DUBLIN

Order of the Assistant City and County Manager

Local Government (Planning & Development) Acts 1963/76, Local Government (Dublin) Acts 1930-1955

RECOMMENDATION:

Decision Order No. P2743 Date 5 SEP 1983

I hereby endorse the recommendation of the Development Control Assistant Grade 1/Planning Assistant Grade 1: VI/McN. Date 5/9/83

TO REFUSE Permission in respect of the Application received on 6/7/83

for 4 reasons for the development proposed in Plan No./Reg. No. 1751/83

by Applicant Gempert Ltd. of Sachs Hotel, 19/21 Morehampton Road, Dublin 4.

namely to: retention of single-storey extension at rear and conversion to storage use, roof garden over extension and additional car parking to rear of Nos. 35/41 at Sachs Hotel, 19/29 Morehampton Road, Dublin 4.

Signed: Principal Officer. Date:

ORDER: In accordance with the recommendation of the Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be contrary to proper planning and development and I, therefore, decide TO REFUSE Permission therefor under the Local Government (Planning and Development) Acts 1963/76 for the 4 reasons stated below.

REASONS

- 1. The retention of such a large area as is available in the unauthorised extension for storage (and fire exit purposes) would significantly facilitate the increase of non-residential activity on this site which would be seriously injurious to existing residential amenities through late night activity and traffic generation.
2. The retention of the development, if permitted, would be contrary to the Ministerial grant of planning permission Plan No. 3309/75 in which this area was shown to be "grassed and landscaped area".
3. The roof garden proposed to be located on the roof of the unauthorised extension would give rise to overlooking of the adjoining residential property consequently it would be seriously injurious to residential amenities.
4. While the provision of off street carparking to serve the existing hotel/nightclub is desirable in principle, the location of the proposed additional off street car parking to the rear of Nos. 35/41 Morehampton Road would be seriously injurious to the amenities of these houses by reason of the proximity of the off street carparking and the generation of noise and nuisance particularly through late night activity.

Handwritten signature and date 5/9/83

Assistant City and County Manager Date:

to whom the appropriate powers have been delegated by Order of the City and County Manager dated day of 19

CORPORATION OF DUBLIN

08 MAR 2008
REGISTER REFERENCE

LTR DATED
PL

1751/83

| | | | | |
|---|---|-----------------------|---|--------------|
| PLAN NO 1751/83 (1138/81) | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963-1982 PLANNING REGISTER (Part II) | | REGISTER REFERENCE | |
| 1. LOCATION | Sachs Hotel, 19/29 Morehampton Road, Dublin 4. | | O.S. NO. GRID REF. | |
| 2. PROPOSED DEVELOPMENT | Retention of single storey extension at rear and conversion to storage use, roof garden over extension and additional car parking to rear of nos 35/41. | | PREPARED BY: A.K. CHECKED BY: AS | |
| 3. TYPE & DATE OF APPLICATION | TYPE | APPLICATION DATE | Date Further Particulars: | |
| | P | 6th July, 1983 | (a) Requested | (b) Received |
| 4. SUBMITTED BY | | Name | Mitchell O'Muire, Architects, | |
| | | Address | 14 Sir John Rogerson's Quay, Dublin 2. | |
| 5. APPLICANT | | Name | Genport Limited, | |
| | | Address | Sachs Hotel, 19/20 Morehampton Road, Dublin 4. | |
| 6. DECISION | O.C.M. No. & DATE | P2743. | EFFECT TO REFUSE PERMISSION | |
| | 5th September, 1983. | Date NOTIFIED | (SEE OPPOSITE). | |
| | 5th September, 1983. | | | |
| 7. GRANT | O.C.M. No. & DATE | | EFFECT | |
| | Date NOTIFIED | | | |
| 8. APPEAL | NOTIFICATION TO | 12-10-1983 | Decision | |
| | CORPORATION | | PERMISSION GRANTED. | |
| | Date of An Bord Pleanála's Decision: | 7th February, 1985. | (SEE OPPOSITE). | |
| 9. APPLICATION SECTION 26 (3) | Date of application | | Decision | |
| 10. COMPENSATION | Ref. in Compensation Register | | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | | |
| 12. PURCHASE NOTICE | | | | |
| 13. REVOCATION or AMENDMENT | | | | |
| 14. | | | | |
| 15. | | | | |
| 16. | | | | |

DATE OF ISSUE OF COPY

CERTIFYING OFFICER

FINANCE OFFICER AND
TREASURER'S RECEIPT NO.



AN BORD PLEANALA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 AND 1976

Dublin County Borough

Planning Register Reference Number: 1138/81

APPEAL by Genport Limited of Sachs Hotel, 19-29 Morehampton Road, Dublin against the decision made on the 28th day of May, 1981, by the Right Honourable the Lord Mayor, Aldermen and Burgesses of Dublin deciding to refuse to grant permission for the retention of an extension to the function area at Sachs Hotel, 19-29 Morehampton Road, Dublin:

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 and 1976, permission is hereby refused for the retention of the said extension for the reasons set out in the Schedule hereto.

SCHEDULE

1. The site is located in an area zoned for residential purposes in the Dublin City Development Plan and this zoning is considered reasonable. The retention of the development as proposed would greatly extend and intensify the night-club use, which is not a permissible use in this area and would, therefore, be contrary to the proper planning and development of the area and seriously injurious to existing residential amenities by reason of late-night activity and traffic generation.
2. The site is located in an area where the maximum site coverage permitted under the Dublin City Development Plan should not exceed 45 per cent. The proposed coverage would significantly exceed that maximum and consequently would result in overdevelopment of the site and thereby be seriously injurious to existing amenities.
3. Off-street car parking provision proposed is not adequate or suitable for the proposed greatly extended night-club use, especially having regard to the car parking requirements for the other uses incorporated in Sachs Hotel. This would result in a reduction in the availability of on-street car parking for adjacent residents as well as endangering public safety by reason of serious traffic hazard and obstruction of the main Morehampton Road due to kerbside parking.

Seamus J. L. [Signature]

Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.

Dated this 1st day of June 1981.

AN BORD PLEANALA

LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS, 1963 to 1982

Dublin County Borough

Planning Register Reference Number: 1138/81

APPEAL by Genport Limited of Sachs Hotel, 19-29, Morehampton Road, Dublin against the decision made on the 28th day of May, 1981, by the Right Honourable the Lord Mayor, Aldermen and Burgesses of Dublin to refuse permission for the retention of an extension to the function area at Sachs Hotel, 19-29, Morehampton Road, Dublin.

DECISION: Pursuant to the Local Government (Planning and Development) Acts, 1963 to 1982, permission is hereby refused for the retention of the said extension for the reasons set out in the Schedule hereto.

SCHEDULE

1. The retention of the development would unreasonably extend and intensify the night club use of the existing non-conforming hotel use in an area zoned for residential uses in the Dublin City Development Plan, which zoning is considered reasonable. Such extension would seriously injure residential amenities through late night activity and traffic generation.
2. Off-street car parking provision proposed is not adequate or suitable for the proposed greatly extended night-club use, especially having regard to the car parking requirements for the other uses incorporated in Sachs Hotel. This would result in a reduction in the availability of on-street car parking for adjacent residents as well as endangering public safety by reason of traffic hazard and obstruction of the main Morehampton Road due to kerbside parking.

| | |
|------------------|------|
| AN BORD PLEANALA | |
| TIME | BY |
| 08 MAR 2018 | |
| LTR DATED | FROM |
| PL | |

James J. Lucey
Member of An Bord Pleanála duly
authorised to authenticate the
seal of the Board.
Dated this 25th day of April 1982

CORPORATION OF DUBLIN

Order of the Assistant City and County Manager

Local Government (Planning & Development) Acts 1963/76, Local Government (Dublin) Acts 1930-1955

28 MAY 1981

RECOMMENDATION:

I hereby endorse the recommendation of the Development Control Assistant Grade 1/Planning Assistant Grade 1:

Decision Order No. P1394 Date 28

TO REFUSE permission in respect of the Application received on 30.3.81 for 4 reasons, for the development proposed in Plan No./Reg. No. 1138/M

by Applicant Genport Ltd., of Sechs Hotel, 19-29 Morehampton Rd., Dublin 4. namely to: Retain function rooms extension at Sechs Hotel, 19-29 Morehampton Rd., Dublin 4.

Signed: Principal Officer. Date:

ORDER: In accordance with the recommendation of the Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be contrary to proper planning and development and I, therefore, decide TO REFUSE permission therefor under the Local Government (Planning and Development) Acts 1963/76 for the reasons stated below.

REASONS

- 1. The retention of the development if permitted would greatly extend and intensify the night-club use which is not a permissible use in this area which is zoned for Objective A "to protect and/or improve residential amenities" in the Dublin Development Plan 1980; consequently the proposal would be contrary to the proper planning and development of the area and would be seriously injurious to existing residential amenities by reason of late night activity and traffic generation.
2. The retention of the development if permitted would be contrary to the Ministerial grant of planning permission Plan No. 3309/75 in which this area was shown to be a "grassed and landscaped area".
3. This site is located within an area where a site coverage figure of 45% maximum is permissible under the provisions of the Dublin Development Plan 1980. The proposed site coverage would significantly exceed that figure and consequently the proposal would result in overdevelopment of the site and would be seriously injurious to existing amenities.
4. Off-street car parking provision proposed is not adequate and suitable for the proposed greatly extended night-club use, especially having regard to the car parking requirements for the other uses incorporated in Sechs Hotel. This would result in a reduction in the availability of on-street carparking for adjacent residents as well as endangering public safety by reason of serious traffic hazard and obstruction of the main Morehampton Road due to kerbside parking.

Handwritten signature and date 28/5/81

Assistant City and County Manager

Date

to whom the appropriate powers have been delegated by Order of the City and County Manager dated day of 19

CORPORATION OF DUBLIN

| | | | |
|---|---|---------------------------------------|---|
| PLAN NO. L138/81 (620/76) | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACTS 1963 & 1978 PLANNING REGISTER (Part I) | | REGISTER REFERENCE 1138/81 |
| 1. LOCATION | Sachs Hotel, 19-29 Morehampton Road, Dublin 4. | | D.S. NO. R-3264-22 GRID REF. 012-3203 |
| 2. PROPOSED DEVELOPMENT | retention of function rooms extn. | | PREPARED BY: MW CHECKED BY: EC |
| 3. TYPE & DATE OF APPLICATION | TYPE P. | APPLICATION DATE 30.5.1981. | Date Further Particulars: (a) Requested (b) Received |
| | | | 1. 2. 3. |
| 4. SUBMITTED BY | Name T.G. Mitchell, Address 44 Upper Mount Street, Dublin 2. | | |
| 5. APPLICANT | Name Genport Ltd., Address Sachs Hotel, 19-29 Morehampton Road, Dublin 4. | | |
| 6. DECISION | O.C.M. No. & DATE P1394, 28th May, 1981. Date NOTIFIED 28th May, 1981 | | EFFECT TO REFUSE PERMISSION (SEE OPPOSITE). |
| 7. GRANT | O.C.M. No. & DATE Date NOTIFIED | | EFFECT |
| 8. APPEAL | NOTIFICATION TO CORPORATION 24th June 1981. | | Decision PERMISSION REFUSED. (SEE OPPOSITE). |
| 9. APPLICATION SECTION 26 (3) | Date of application 4th Nov., 1981. | | Decision |
| 10. COMPENSATION | Ref. in Compensation Register | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | |
| 12. PURCHASE NOTICE | | | |
| 13. REVOCATION or AMENDMENT | | | |
| 14. **** | See Decision of An Bord Pleanála dated 25th April, 1983. (attached). | | DATE OF ISSUE OF COPY |
| 15. | | | CERTIFYING OFFICER |
| 16. | | | FINANCE OFFICER AND TREASURER'S RECEIPT NO. |

AN BORD PLEANÁLA
 TIME BY
08 MAR 2018

REASONS

- The proposed hotel development would give rise to serious fire hazard due to:
- (a) Inadequate means of escape in case of fire, and
 - (b) Inadequate structural fire resistance. This would endanger public safety.
5. The hotel development as constructed does not comply with public health requirements relative to:
- (a) Ventilation of w.c.'s and bathrooms.
 - (b) Inadequate glass washing facilities for bar/lounges.
 - (c) Inadequate details of heating and boiler plant.
- This would be prejudicial to public health.

ASSISTANT CITY AND COUNTY MANAGER

Date _____

to whom the appropriate powers have been delegated by Order of the City & County Manager dated day of 19.....

| Plan Number 1926 / 72 | CORPORATION OF DUBLIN Local Government (Planning and Development) Act, 1963 REGISTER (Part I) | | | | Folio 1769 / 72 | | |
|---------------------------------------|---|-----------------------------------|---|-----------------------------------|---------------------------|------------------------------|-------------|
| 1. LOCATION | 19, MOREHAMPTON ROAD. | | | | O.S. No. 18 XVI | | |
| 2. PROPOSAL Subject of Application | REDUCTION OF NUMBER OF FLATS FROM TEN TO FIVE. | | | | Grid Ref. 3202 1710 | | |
| 3. APPLICATION Type and Date | Type of Application PERMISSION | Application Date 4th Sep. 1972 | Further Particulars Requested 2 | Further Particulars Received 2 | | | |
| 4. SUBMITTED BY Name and Address | Name HOPE CUFFE & ASSOCIATES, | | Address 50, MERRION SQUARE, DUBLIN 2. | | | | |
| 5. PROPOSER'S NAME AND ADDRESS | Name MRS. MAIRE CALLAHAN, | | Address 47, MOREHAMPTON ROAD, DUBLIN 4. | | | | |
| 6. DECISION | O.C.M. & Date P2 426.2/11/72 | Notified 2nd Nov. '72 | Effect TO REFUSE PERMISSION. (SEE SCHEDULE OVERLEAF) | | S.26(2) (e) | S.26(2) (g) | S.26(2) (h) |
| 7. GRANT | Date of Grant | Sent | Effect | | S.26(2) (e) | S.26(2) (g) | S.26(2) (h) |
| 8. APPEAL | NOTIFICATION TO CORPORATION 30th Oct. '72 | DATE OF MINISTER'S DECISION | Effect of Decision of Minister | | | | |
| 9. S.26(3) APPLICATION | DATE OF APPLICATION | DATE OF MINISTER'S DECISION | Effect of Decision of Minister | | | | |
| 10. COMPENSATION | Claim | | Ref. in Part II. (Compensation Register) | | | | |
| 11. ENFORCEMENT | Section | | Ref. in Part III. (Enforcement Register) | | | | |
| 12. PURCHASE NOTICE | | | | | | | |
| 13. REVOCATION OR AMENDMENT | | | | | | | |
| 14. | | | | | | Date of Issue of copy | |
| 15. | | | | | | Certifying Officer. | |
| 16. | | | | | | City Treasurer's Receipt No. | |

Card No. 2.

LOCATION. Sachs Hotel
19-29 Morehampton Road, Dublin 4.

| Lodgment Date | Plan No. | Appln. Type | Proposed Development |
|---------------|----------|-------------|--|
| 30.3.1981 | 2138/81 | P. | Retention of function rooms extn (Genport Ltd)./ |
| 6.7.83 | 1751/83 | P. | Retn. of s.s. extn. at rear & conversion to storage use, roof garden to storage use, roof garden over extn. & add. car parking to rear of nos. 35/4 (Genport Ltd.) |
| | | | |
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LOCATION. site adj. to 19 Morehampton Rd.,

| Lodgment Date | Plan No. | Appln. Type | Proposed Development |
|---------------|---------------|-------------|----------------------|
| 12.10.1972 | 2177/72(2032) | P. | substation |
| 9.1.1973 | 2177/72(2032) | P. | " add info. |
| | | | |
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CORPORATION OF DUBLIN
Order of the Assistant City and County Manager
Local Government (Planning & Development) Act, 1963: Local Government (Dublin) Acts 1930-1955

15 OCT 1976

RECOMMENDATION:

Decision Order No. P2538 Date 15 OCT 1976

I hereby endorse the recommendation of the

Development Control Assistant Grade 1/Planning Assistant Grade 1 : FRANK/AC Date 12.10.76

TO REFUSE PERMISSION in respect of the Application received on 1st March, 1976

for 5 reasons, for the development proposed in Plan No. 620/76 Reg. No. 620/76

by Applicant Tunney Hotels Limited, of 16 Upper Pembroke Street, Dublin 2.

namely to: Change use from residential to Hotel (Part of overall proposal to change from residential to hotel and erect extension at rear) at 19, 27, 29 Marshamton Road, Dennybrook, Dublin 4.

Permission to use Nos. 19, 27, 29 Marshampton Road, Dublin 4, otherwise than for human habitation was granted on appeal under Section 4 of the Housing Act, 1969 on 16/9/76 by the Minister for Local Government.

Planning Permission was refused for erection of extension at rear on 29/4/76 U.A.C.R. 8898.

Signed: *W.R.* Assistant Principal Officer. Date: 15/10

ORDER: In accordance with the recommendation of the Assistant Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be contrary to proper planning and development and I, therefore, decide TO REFUSE PERMISSION therefor under the Local Government (Planning and Development) Act, 1963 for the 5 reasons stated below

RECEIVED PLEANALA
TIME BY
08 MAR 2018
LTR DATED FROM
PL

REASONS

1. The proposed expansion of what was formerly a small hotel into three additional terraced houses - which were when last used occupied as a large number of residential units - is contrary to the proper planning and development of this area, which is zoned for residential uses in the Dublin Development Plan, 1971. This would result in the establishment of a large scale commercial hotel with extensive public bars/restaurant/night club which would be out of character in this pleasant residential area.
2. The proposed hotel development would not meet the standards for acceptable hotel development in a residential zone as laid down in the 1971 Dublin Development Plan i.e. (a) the proper planning and development of the area would not show such use to be preferable to use for residential development. (b) The site is not of such a size that the amenities of neighbouring residential properties are not reduced and (c) the layout does not provide for sufficient distance between the car park service area, function rooms, and entrances etc. to avoid annoyance to persons residing in any premises in the neighbourhood. The location of bars/night club/restaurants/bistro are such that they extend up to party boundaries with adjoining residential properties, and together with car parking which has similar characteristics would result in serious injury to the residential quality of property in the vicinity especially in view of late hour activities involved.
3. Off-street car parking provision proposed is not adequate and suitable for the proposed extended hotel use, especially relative to the large scale function rooms and entertainment areas involved; the number of off-street car spaces which could realistically be provided and to a proper standard would be less than 60, whereas the submitted plans indicate a total of 81 spaces. This would result in a reduction in the availability of on-street car parking for adjacent residents as well as endangering public safety by reason of serious traffic hazard and obstruction on the main Marshampton Road due to kerbside parking.

ASSISTANT CITY AND COUNTY MANAGER Date

to whom the appropriate powers have been delegated by Order of the City and County Manager dated.....day

of..... 19.....

CORPORATION OF DUBLIN
Order of the Assistant City and County Manager

Local Government (Planning & Development) Act, 1963: Local Government (Dublin) Acts 1930-1955

29 APR 1976

RECOMMENDATION:

I hereby endorse the recommendation of the
Development Control Assistant Grade 1/Planning Assistant Grade 1:

Decision Order No. P898 Date

PC/PS

Date: 29th April 1976

TO REFUSE PERMISSION in respect of the Application received on 1st March, 1976

for 1 reasons, for the development proposed in Plan No. 620/76 Reg. No. 620/76

by Applicant Turney Hotels Limited of 16 Upper Pembroke Street, Dublin 2.

namely to: Erect extension at rear (part of overall proposal to change use from residential to Hotel and erect extension at rear) at 19-27 Morhampton Road, DUBLIN 4.

Permission for the use as an Hotel of the premises Nos. 19 & 27
Morhampton Road and the habitable accommodation of No.
29 Morhampton Road, Donnybrook, Dublin 4 was refused under
Section 4 of the Housing Act, 1969 on 12th April, 1976.

Signed: [Signature] Assistant Principal Officer. Date: 29/4

ORDER: In accordance with the recommendation of the Assistant Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be contrary to proper planning and development and I, therefore, decide TO REFUSE PERMISSION therefor under the Local Government (Planning and Development) Act, 1963 for the 1 reasons stated below

REASONS

- (1) As the provisions of the Housing Act, 1969 preclude the planning authority from considering at this stage the part of the proposal effected by that Act, namely the change of use of the houses Nos. 19, 27 and 29 it is not possible to make a full and adequate assessment of the remaining part of the proposal in isolation i.e. the extensions at the rear, which form an integral part of the developer's proposals for the site in question.

The proper planning and development of the area requires that both parts of the proposal be considered in relation to each other and to the development of the entire site under the developer's control.

ASSISTANT CITY AND COUNTY MANAGER Date

to whom the appropriate powers have been delegated by Order of the City and County Manager dated.....day

CORPORATION OF DUBLIN

| | | | |
|---|---|--|--|
| PLAN NO. 620/76. | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 PLANNING REGISTER (Part I) | | REGISTER REFERENCE 620/76. |
| 1. LOCATION | 19-29 Morehampton Road, Dennybrook, Dublin 4. | | O.S. NO. 1B XVI GRID REF. 1710 3202 |
| 2. PROPOSED DEVELOPMENT | Change of use from residential to hotel, extension at rear. | | PREPARED BY: CHECKED BY: <i>fw</i> |
| 3. TYPE & DATE OF APPLICATION | TYPE P. | APPLICATION DATE 1st March, 1976, | Date Further Particulars (a) Requested (b) Received |
| | | | 1. 2. 3. |
| 4. SUBMITTED BY | Name MacEoin, Kelly Associates, Address 23 Mountjoy Square, Dublin 1. | | |
| 5. APPLICANT | Name Tunney Hotels, Ltd., Address 16 Upper Pembroke Street, Dublin 2. | | |
| 6a DECISION | O.C.M. No. & DATE P898. 29th April, 76. Date NOTIFIED 29th April, 76. | EFFECT TO REFUSE PERMISSION FOR EXTENSION AT REAR. (SEE OPPOSITE). | |
| 6b DECISION | O.C.M. No. & DATE P2538. 15th October 1976. Date NOTIFIED 15th October 1976. | EFFECT TO REFUSE PERMISSION FOR CHANGE OF USE FROM RESIDENTIAL TO HOTEL. (SEE OPPOSITE). | |
| 8. APPEAL | NOTIFICATION TO CORPORATION | Decision | |
| 9. APPLICATION SECTION 26 (3) | Date of application | Decision | |
| 10. COMPENSATION | Ref. in Compensation Register | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | |
| 12. PURCHASE NOTICE | | | |
| 13. REVOCATION or AMENDMENT | | | |
| 14. THIS APPLICATION IS AFFECTED BY THE 1969 HOUSING ACT. | | | |
| 15. | | | |
| 16. | | | |

AN BORD PLEANÁLA
 TIME BY 08 MAR 2018
 FROM
 DATED

.....
 DATE OF ISSUE OF COPY

 CERTIFYING OFFICER

 CITY TREASURER'S RECEIPT NO.

PL. 29/5/36710

AGIEN RIALTAIN (TITIALL)
LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT, 1963
Contae-Bhaire Bhaile Átha Cliath
Planning Register Reference Number: 2309/75

APPEAL by Tenney Hotels Limited of 15 Upper Pembroke Street, Dublin, against the decision made on the 15th day of October, 1976, by the Right Honourable the Lord Mayor, Aldermen and Burgesses of Dublin deciding to refuse to grant permission for development consisting of the change of use of 19, 27 and 29 Morehampton Road, Dublin, from residential use to use as an extension to a hotel at 21/25 Morehampton Road, together with ancillary alterations in accordance with plans and particulars lodged with the Corporation:

DECISION: Pursuant to subsections (5) and (9) of section 26 of the Local Government (Planning and Development) Act, 1963, and after consideration of the report of the person who conducted an oral hearing of the said appeal, it is hereby decided to grant permission for the said development, subject to the condition specified in column 1 of the Schedule hereto, the reason for the imposition of the said condition being as set out in column 2 of the said Schedule and the said permission is hereby granted subject to the said condition

SCHEDULE

| Column 1 - Condition | Column 2 - Reasons for Condition |
|--|---|
| The external openings in the conference room and the wine restaurant shall be so designed as to ensure that any noise emanating from these rooms between the hours of 11.30 P.M. and 8 A.M. shall not exceed a level of 40 dBA as measured at the window sill of any habitable room in residential property in the vicinity not in the ownership of the developer. | In the interest of residential amenity. |

Parliamentary Secretary to the Minister
for Local Government to whom the relevant
powers and duties of the said Minister
under the Local Government (Planning and
Development) Act, 1963 are delegated by
the Local Government (Delegation of
Ministerial Functions) Order, 1975.

Dated this 10th day of December 1976.

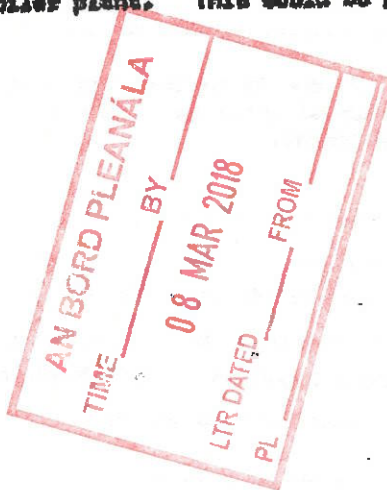
REASONS

proposed hotel development would give rise to serious fire hazard due to:

- (a) Inadequate means of escape in case of fire, and
- (b) Inadequate structural fire resistance. This would endanger public safety.

8. The proposed hotel development as constructed does not comply with public health requirements relative to:

- (a) Ventilation of W.C.'s and bathrooms.
- (b) Inadequate glass washing facilities for bar/lounges.
- (c) Inadequate details of heating and boiler plant. This would be prejudicial to public health.



Date _____

ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the City & County Manager dated day of 19

15 OCT 1975

RECOMMENDATION:

Decision Order No. **P2537**..... Date

I hereby endorse the recommendation of the

Development Control Assistant Grade 1/Planning Assistant Grade 1 : **PF AMCO/AC**..... Date: **12.10.75**

TO REFUSE PERMISSION..... in respect of the Application received on **18th December, 1975**

for **5**..... reasons, for the development proposed in Plan No. **3309/75**..... Reg. No. **3309/75**.....

by Applicant **Tunney Hotels Limited**..... of **16 Upper Pembroke Street, Dublin 2**.....

namely to: **Change use from apartments to hotel at 19, 27, 29 Morehampton Road**.....

Dublin 4.....

Permission to use Nos. 19, 27 and 29 Morehampton Road, Dublin 4 otherwise than for human habitation was granted on appeal under Section 4 of the Housing Act, 1969 on 16/9/75 by the Minister for Local Government.

Signed: Assistant Principal Officer. Date:

ORDER: In accordance with the recommendation of the Assistant Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be contrary to proper planning and development and I, therefore, decide **TO REFUSE PERMISSION**..... therefor under the Local Government (Planning and Development) Act, 1963 for the **5**..... reasons stated below

REASONS

1. The proposed expansion of what was formerly a small hotel into three additional terraced houses - which were, when last used, occupied as a large number of residential units - is considered to be contrary to the proper planning and development of this area, which is zoned for residential uses in the 1971 Dublin Development Plan. This would result in the establishment of a large scale commercial hotel with extensive public bars/Restaurant/night club which would be out of character in this pleasant residential area.
2. The proposed hotel development would not meet the standards for acceptable hotel development in a residential zone as laid down in the 1971 Dublin Development Plan i.e. (a) The proper planning and development of the area would not show such use to be preferable to use for residential development. (b) The site is not of such a size that the amenities of neighbouring residential properties are not reduced and (c) the layout does not provide for sufficient distance between the car park service area, function rooms and entrances etc. to avoid annoyance to persons residing in any premises in the neighbourhood. The location of bars/night club/restaurants/bistros are such that they extend ~~up~~ up to party boundaries with adjoining residential properties and together with car parking which has similar characteristics would result in serious injury to the residential amenity of property in the vicinity especially in view of late hour activities involved.
3. Off-street car-parking provision proposed is not adequate and suitable for the proposed extended hotel use, especially relative to the large scale function rooms and entertainment areas involved; the number of off-street car spaces which could realistically be provided and to a proper standard would be less than 50, whereas the submitted plans indicate a total of 61 spaces. This would result in a reduction in the availability of on-street car parking for adjacent residents as well as endangering public safety by reason of serious traffic hazard and obstruction on the main Morehampton Road due to kerbside parking.

P.7.0

..... Date

ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the City and County Manager dated.....day

of....., 19.....

CORPORATION OF DUBLIN

AN BORD PLEANÁLA
 TIME BY 08 MAR 1978 FROM
 LTR DATED

| | | | |
|--|---|--|--|
| PLAN NO. | 3309/75. | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 PLANNING REGISTER (Part 1) | REGISTER REFERENCE 3309/75. |
| 1. LOCATION | 19, 27 & 29, MOREHAMPTON ROAD, DUBLIN 4. | | O.S. NO. 18 XVI..... 1710 3202. GRID REF. |
| 2. PROPOSED DEVELOPMENT | CHANGE OF USE FROM APARTMENT TO HOTEL. | | PREPARED BY: CHECKED BY: <i>me</i> |
| 3. TYPE & DATE OF APPLICATION | TYPE P. 18th Dec. 75. | APPLICATION DATE | Date Further Particulars (a) Requested (b) Received |
| | | 1. 2. 3. | 1. 2. 3. |
| 4. SUBMITTED BY | Name M/S. MacEOIN, KELLY & ASSOCIATES, Address 23, MOUNTJOY SQUARE, DUBLIN 1. | | |
| 5. APPLICANT | Name TUNNEY HOTELS LTD., Address 16, UPPER PEMBROKE STREET, DUBLIN 2. | | |
| 6. DECISION | O.C.M. No. & DATE P2537. 15th October 1976. Date NOTIFIED 15th October 1976. | EFFECT TO REFUSE PERMISSION (SEE OPPOSITE). | |
| 7. GRANT | O.C.M. No. & DATE Date NOTIFIED | EFFECT | |
| 8. APPEAL | NOTIFICATION TO 26th October 1976. CORPORATION 10th December 1976. | Decision PERMISSION GRANTED SUBJECT TO ONE (1) CONDITION (SEE OPPOSITE). | |
| 8a. DATE OF MINISTER'S DECISION | | | |
| 9. APPLICATION SECTION 26 (3) | Date of THIS APPLICATION application HOUSING ACT. | Decision IS AFFECTED BY THE 1969 | |
| 10. COMPENSATION | Ref. in Compensation Register | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | |
| 12. PURCHASE NOTICE | | | |
| 13. REVOCATION or AMENDMENT | | | |
| 14. | | | |
| 15. | | | |
| 16. | | | |

.....
 DATE OF ISSUE OF COPY

 CERTIFYING OFFICER

 CITY TREASURER'S RECEIPT NO.

CORPORATION OF DUBLIN
 Order of the Assistant City and County Manager
 Local Government (Planning & Development) Act, 1963: Local Government (Dublin) Acts 1930-1955

27 MAR 1975

RECOMMENDATION:

Decision Order No. 2635 Date

I hereby endorse the recommendation of the

Development Control Assistant Grade 1/Planning Assistant Grade 1 : 57/2/61 Date:

TO GRANT PERMISSION in respect of the Application received on 31st Jan 1975 subject to conditions, for the development proposed in Plan No. 254/75 Reg. No. 254/75 by Applicant Sasha (Ireland) Ltd of Sasha Hotel, 21-25 Northampton Road namely to: Erect five bedroom extension to hotel at 21-25 Northampton Rd, Dennybrook, Dublin 4.

Signed: Assistant Principal Officer. Date:

ORDER: In accordance with the recommendation of the Assistant Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be consistent with proper planning and development and I, therefore, decide **TO GRANT** PERMISSION therefor under the Local Government (Planning and Development) Act, 1963 subject to the following 3 conditions imposed for the reasons stated;

| Conditions | Reasons for Conditions |
|---|---|
| <p>1. The development to be carried out in conformity with a grant of permission by the planning authority or by the Minister for Local Government on appeal. Any requirements of the Chief Fire Officer and the requirements of the Engineering Department to be complied with prior to commencement of use of the development. Approval under the Building Bye-laws to be obtained and all conditions of approval to be observed in the development.</p> | <p>To provide for an acceptable standard of development.</p> |
| <p>2. A boundary fence of substantial construction at least 18" high must be preserved along laneway frontage except at any proposed vehicular access the width of which shall be not more than 15 ft. Gates therein must be designed not to open outwards over surface of laneway. Gradient of access must be not more than 1 in 40 for at least 20 ft. inside boundary fence. All surface water must be trapped and discharged into drains within the boundaries of site.</p> | <p>To ensure a proper standard of development.</p> |
| <p>3. Screening by means of obscured glazing or similar to be provided to a height of 5'6" above floor level on all windows on the south eastern facade on the first floor of the proposed rear extension.</p> | <p>In order to prevent the overlooking of adjoining properties.</p> <p align="right"><i>WR</i> 27/3</p> |

.....
 ASSISTANT CITY AND COUNTY MANAGER

Date

to whom the appropriate powers have been delegated by Order of the City and County Manager dated.....day of..... 19.....

CORPORATION OF DUBLIN

| | | | |
|-------------------------------|---|--|--|
| PLAN NO. 234/75. | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 PLANNING REGISTER (Part 1) | | REGISTER REFERENCE 234/75. |
| 1. LOCATION | 21-25 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4. | | O.S. NO. 18 XVI..... GRID REF 17113202. |
| 2. PROPOSED DEVELOPMENT | 5 BEDROOM EXTENSION TO HOTEL. | | PREPARED BY: CHECKED BY: <i>MYR</i> |
| 3. TYPE & DATE OF APPLICATION | TYPE P. | APPLICATION DATE 31st Jan. 75. | Date Further Particulars |
| | | | (a) Requested 1. 2. 3. |
| 4. SUBMITTED BY | Name W.H. HASTINGS, Address 36, MOUNT PLEASANT SQUARE, DUBLIN 6. | | |
| | 5. APPLICANT Name SACHS (IRELAND) LTD., Address 21-25 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4. | | |
| 6. DECISION | O.C.M. No. & DATE P635. 27th March, 75. Date NOTIFIED 27th March, 75. | EFFECT TO GRANT PERMISSION, SUBJECT TO (3) THREE CONDITIONS. (SEE OPPOSITE). | |
| 7. GRANT | O.C.M. No. & DATE P635. 14th May, 75. Date NOTIFIED 20th May, 75. | EFFECT PERMISSION GRANTED, SUBJECT TO (3) THREE CONDITIONS. (SEE OPPOSITE). | |
| 8. APPEAL | NOTIFICATION TO CORPORATION | Decision | |
| 9. APPLICATION SECTION 26 (3) | Date of application | Decision | |
| 10. COMPENSATION | Ref. in Compensation Register | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | |
| 12. PURCHASE NOTICE | | | |
| 13. REVOCATION or AMENDMENT | | | |
| 14. | DATE OF ISSUE OF COPY | | |
| 15. | CERTIFYING OFFICER | | |
| 16. | CITY TREASURER'S RECEIPT NO. | | |

AN BORD PLEANÁLA
 TIME BY
 08 MAR 2018

Conditions

Reasons for Conditions

A boundary fence of substantial construction, at least 18" high must be preserved along laneway frontage, except at any proposed vehicular access, the width of which shall be not more than 15 ft. Gates there-in must be designed not to open outwards over surface of laneway. Gradient of access must be not more than 1 in 40 for at least 20 ft. inside boundary fence. All surface water must be trapped and discharged into drains within the boundaries of the site.

To ensure a proper standard of development.

REL. 1-15



Date _____

ASSISTANT CITY AND COUNTY MANAGER

to whom the appropriate powers have been delegated by Order of the City & County Manager dated day of 19

CORPORATION OF DUBLIN
Order of the Assistant City and County Manager
 Local Government (Planning & Development) Act, 1963: Local Government (Dublin) Acts 1930-1955

31 OCT 1974

RECOMMENDATION:

Decision Order No. P2903, Date 31 OCT 1974

I hereby endorse the recommendation of the

Development Control Assistant Grade 1/Planning Assistant Grade 1 : DD/WPC1, Date: 31 OCT 1974

TO GRANT PERMISSION In respect of the Application received on 2nd Sept. 1974

subject to conditions, for the development proposed in Plan No. 2204/74, Reg. No. 1977/74

by Applicant Sachs (Ireland) Ltd. of Sachs 21/25 Norhampton Rd, Dennybrook, Dublin 4.

namely to: Carry out Renovation of Existing Buildings and Reconstruction of Return (Hotel) at Sachs 21/25 Norhampton Rd.

Signed: Assistant Principal Officer. Date:

ORDER: In accordance with the recommendation of the Assistant Principal Officer, I decide that having regard to the provisions which are included in the Development Plan, the above proposal would be consistent with proper planning and development and I, therefore, decide **TO GRANT** PERMISSION therefor under the Local Government (Planning and Development) Act, 1963 subject to the following **4** conditions imposed for the reasons stated;

| Conditions | Reasons for Conditions |
|--|--|
| <p>1. Development shall be carried out in conformity with a grant of permission by the planning authority or by the Minister for Local Government on appeal. The requirements of the Chief Medical Officer, Chief Fire Officer and the Engineering Department shall be complied with prior to commencement of use of the development. Approval under the Building Bye-laws shall be obtained, and all conditions of approval shall be observed in the development.</p> | <p>To provide for an acceptable standard of development.</p> |
| <p>2. No signs other than those indicated on the lodged plans to be erected on or at the front of the premises without a prior grant of permission by the planning authority or by the Minister for Local Government on appeal or unless exempted under the Local Government (Planning & Development) Act 1963, Exempted Development Regulations 1967, and no alterations to the front facade to be made without the prior permission of the planning authority.</p> | <p>To safeguard visual amenity in this area of outstanding Civic design.</p> |
| <p>3. Windows in new stairs return above ground floor level to be high level type i.e. to have sill at least 5 ft. 6" above floor level suitably revised details shall be submitted to the planning authority and shall receive written agreement thereto before commencing the development.</p> | <p>To safeguard residential amenity.</p> |

AN BORD PLEANÁLA
 TIME BY 08 MAR 2018 FROM PL

WPC1
31/10

OVER/.

Assistant City and County Manager Date

to whom the appropriate powers have been delegated by Order of the City and County Manager dated.....day of..... 19.....

CORPORATION OF DUBLIN

| PLAN NO. 2204/74 | LOCAL GOVERNMENT (PLANNING AND DEVELOPMENT) ACT 1963 PLANNING REGISTER (Part 1) | | REGISTER REFERENCE 1977/74 | | | | | | | | | | |
|-------------------------------|--|---|---|--------------------------|--|---------------|--------------|---------|---------|---------|---------|---------|---------|
| 1. LOCATION | SACHS 21-25 MOREHAMPTON ROAD. | | O.S. NO. 1S XVI GRID REF 7113202... | | | | | | | | | | |
| 2. PROPOSED DEVELOPMENT | RENOVATION OF EXISTING BUILDINGS - RECONSTRUCTION OF RETURN (HOTEL) | | PREPARED BY: <i>pl. mid</i> CHECKED BY: <i>MK</i> | | | | | | | | | | |
| 3. TYPE & DATE OF APPLICATION | TYPE P | APPLICATION DATE 2nd Sept '74 | <table border="1"> <thead> <tr> <th colspan="2">Date Further Particulars</th> </tr> <tr> <th>(a) Requested</th> <th>(b) Received</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>1.</td> </tr> <tr> <td>2.</td> <td>2.</td> </tr> <tr> <td>3.</td> <td>3.</td> </tr> </tbody> </table> | Date Further Particulars | | (a) Requested | (b) Received | 1. | 1. | 2. | 2. | 3. | 3. |
| Date Further Particulars | | | | | | | | | | | | | |
| (a) Requested | (b) Received | | | | | | | | | | | | |
| 1. | 1. | | | | | | | | | | | | |
| 2. | 2. | | | | | | | | | | | | |
| 3. | 3. | | | | | | | | | | | | |
| 4. SUBMITTED BY | Name W.H. HASTINGS, Address 36 MOUNT PLEASANT SQUARE, DUBLIN 6. | | | | | | | | | | | | |
| 5. APPLICANT | Name SACHS (IRELAND) LTD. Address 21-25 MOREHAMPTON ROADM DONNYBROOK, DUBLIN 4 | | | | | | | | | | | | |
| 6. DECISION | O.C.M. No. & DATE P2903. 31st Oct, 74. Date NOTIFIED 31st Oct, 74. | EFFECT TO GRANT PERMISSION, SUBJECT TO (4) FOUR CONDITIONS. (SEE OPPOSITE). | | | | | | | | | | | |
| 7. GRANT | O.C.M. No. & DATE P2903. 9th Dec, 1974. Date NOTIFIED 10th Dec, 1974. | EFFECT PERMISSION GRANTED, SUBJECT TO (4) FOUR CONDITIONS. (SEE OPPOSITE). | | | | | | | | | | | |
| 8. APPEAL | NOTIFICATION TO CORPORATION | Decision | | | | | | | | | | | |
| 9. APPLICATION SECTION 26 (3) | Date of application | Decision | | | | | | | | | | | |
| 10. COMPENSATION | Ref. in Compensation Register | | | | | | | | | | | | |
| 11. ENFORCEMENT | Ref. in Enforcement Register | | | | | | | | | | | | |
| 12. PURCHASE NOTICE | | | | | | | | | | | | | |
| 13. REVOCATION or AMENDMENT | | | | | | | | | | | | | |
| 14. | DATE OF ISSUE OF COPY | | | | | | | | | | | | |
| 15. | CERTIFYING OFFICER | | | | | | | | | | | | |
| 16. | CITY TREASURER'S RECEIPT NO. | | | | | | | | | | | | |

LOCATION. 19 Morehampton Rd.,

| Lodgment Date | Plan No. | Appln. Type | Proposed Development |
|---------------|----------------|-------------|--|
| 4.9.1972 | 1926/72(1769) | P. | reduction of No. of flats from 10 to 5 |
| 13.11.1972 | 1926/72A(2238) | P. | reduction in No. of flats from 10 to 5 & extn. of existing return. |
| 27.8.1973 | 2018/73(1807) | OP | maisonette containing 2 flats |
| 11.9.1973 | 2018/73A(1901) | OP | 2 apartments |
| 19.11.1973 | 2018/73A(1901) | O. | " " add info |
| | | | |
| | | | |
| | | | |

AN BOLD FLEANA
 TIME BY
 08 MAR 2018
 LTR DATED FROM PL

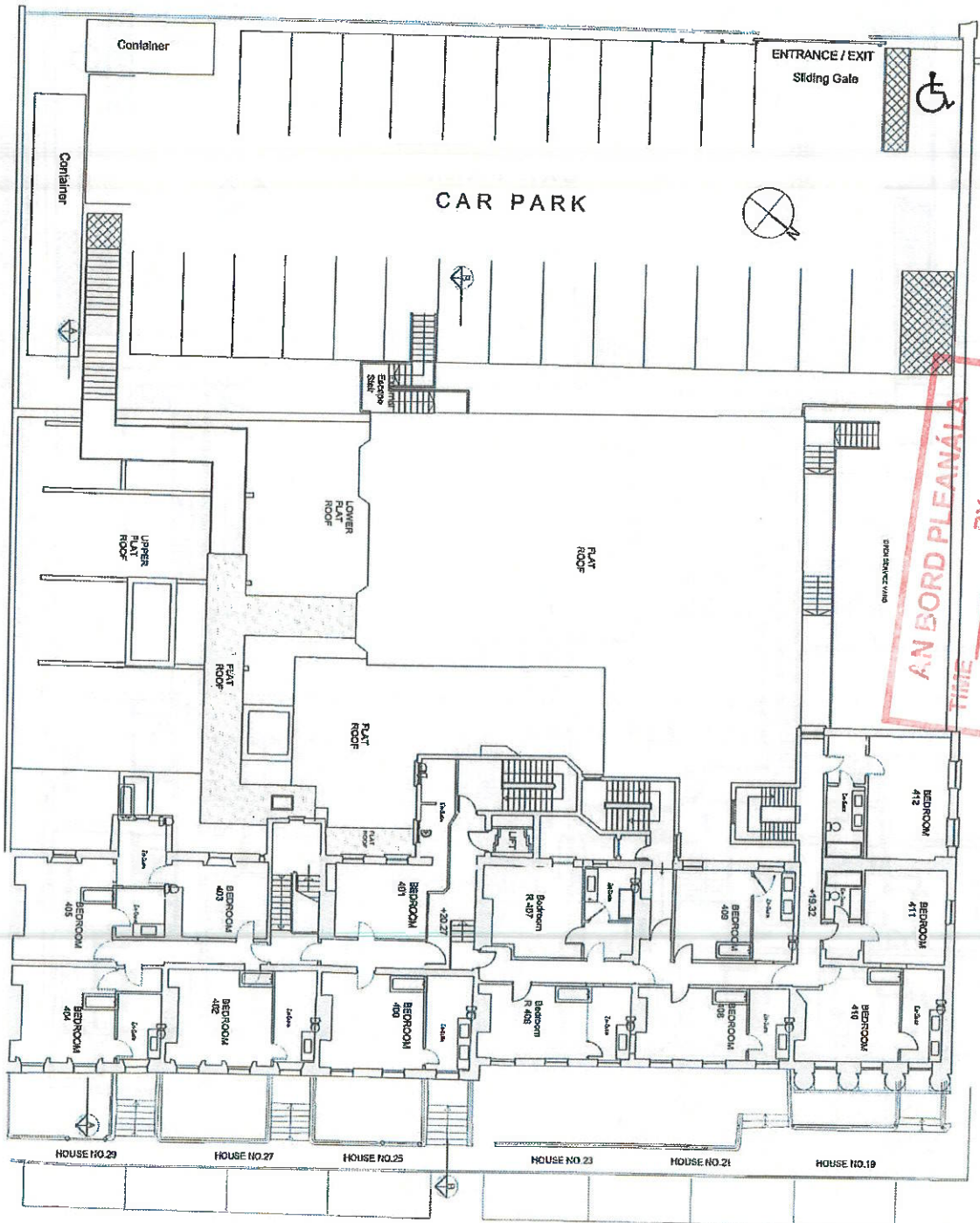
Sachs Hotel

(21/25)
 LOCATION. 19/29 Morehampton Rd CARD No. 1.

| Lodgment Date | Plan No. | Appln. Type | Proposed Development |
|---------------|---------------|-------------|--|
| 24.2.1964 | 295/64 | | canopy |
| 1.10.1973 | 2255/73(2048) | P. | Removal of canopy and signs & erection of new canopy, signs, & fittings. |
| 2.9.1974 | 2204/74(1977) | P. | renovn. of existing buildings, reconstrn. of return (hotel) |
| 31.1.1975 | 234/75 | P. | 5 bedroom extn. to hotel. |
| 22.11.1974 | 2204/74A | FBL | renovation of existing buildings reconstrn. of return (hotel) |
| 18.12.1975 | 301/75 | P. | change of use from apartments to hotel (19, 27, 29) |
| 1.3.1976 | 225/76 | P. | " " " " " " |
| 2.4.1976 | 220/76 | P. | " " " " " " |
| 27.10.1977 | 302/77 | P. | " " " " " " |

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

APPENDIX 2: PLANNING RECORDS: As itemised at page 4 above; RMA method statement for repairs to the stone balustrading to Morehampton Road; Conservation Report that accompanied planning application 6773/07; and Conservation Report that accompanied the Section 5 Application 0375/17.



A.N BORD PLEANÁLA
 TIME BY 08 MAR 2018 FROM

Second Floor Plan
Sheet 1/18

I/We would like to confirm that this information accurately represents the as built item.

Name: _____
 Title: _____
 Signature: _____

Fire Detection & Alarm System

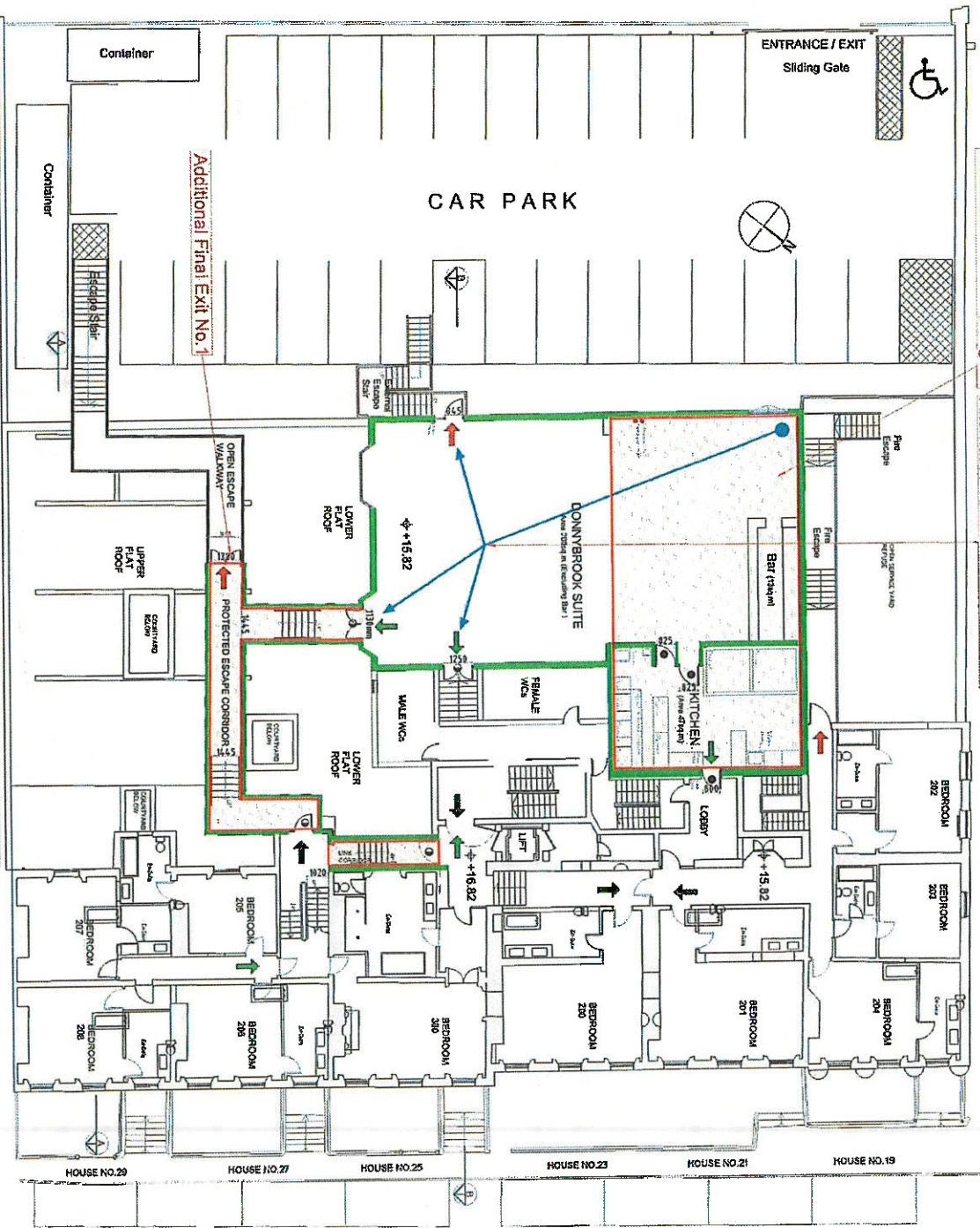
The fire detection and alarm system will be designed, installed and commissioned in accordance with BS 58-1:2013 Code of Practice for Fire Detection and Alarm Systems for Buildings' Openable and Non-Openable Windows and Fire Transmitters.

Notes:

- A type 1 fire detection and alarm system will be installed in the building. This has alarm panel for the system will be located in the reception area.
- The fire detection and alarm system will be installed in accordance with BS 58-1:2013 Code of Practice for Fire Detection and Alarm Systems for Buildings' Openable and Non-Openable Windows and Fire Transmitters.
- The fire detection and alarm system will be installed in accordance with BS 58-1:2013 Code of Practice for Fire Detection and Alarm Systems for Buildings' Openable and Non-Openable Windows and Fire Transmitters.
- The fire detection and alarm system will be installed in accordance with BS 58-1:2013 Code of Practice for Fire Detection and Alarm Systems for Buildings' Openable and Non-Openable Windows and Fire Transmitters.

| | |
|---|---|
| THE CONTRACTOR | THE CLIENT |
| Name: _____ Title: _____ Signature: _____ | Name: _____ Title: _____ Signature: _____ |

| | |
|---|----------------------------|
| PROJECT INFORMATION | DATE |
| Project Name: _____ Project No: _____ Project Location: _____ | Date: _____ Time: _____ |



Previous use of hatched area: Dead End Travel Distance = 14.4m
 included Kitchen & Storage
 Alternative Travel Distance = 20.1m

No changes proposed to existing final exits

Final Floor Plan
 Scale: 1:50

THE UNIVERSITY OF SHEFFIELD
 SHEFFIELD HALLAM UNIVERSITY
 SHEFFIELD HALLAM UNIVERSITY
 SHEFFIELD HALLAM UNIVERSITY

PROJECT INFORMATION
 PROJECT NO: 12345
 PROJECT NAME: Fire Escape Route Assessment
 PROJECT LOCATION: 123 Main Street, Sheffield, S1 1AA

CLIENT INFORMATION
 CLIENT NAME: ABC Corporation
 CLIENT ADDRESS: 456 Business Park, Sheffield, S1 1BB

DESIGNER INFORMATION
 DESIGNER NAME: DEF Architects
 DESIGNER ADDRESS: 789 Creative Way, Sheffield, S1 1CC

DATE
 DATE: 15/10/2023

SCALE
 SCALE: 1:50

PROJECT NO
 PROJECT NO: 12345

PROJECT NAME
 PROJECT NAME: Fire Escape Route Assessment

PROJECT LOCATION
 PROJECT LOCATION: 123 Main Street, Sheffield, S1 1AA

Fire Detection & Alarm System
 The proposed fire detection and alarm system will be installed in accordance with the requirements of BS 58-1:2002. The system will be installed in the reception area, kitchen, bar, and bedrooms 201-208. The system will be installed in the reception area, kitchen, bar, and bedrooms 201-208.

Fire Escape Route
 The fire escape route is shown in green on the floor plan. It starts in the Donnerbrook Suite, goes through a protected escape corridor, and exits through a sliding gate to a car park. The route is 14.4m long.

Fire Escape Route
 The fire escape route is shown in green on the floor plan. It starts in the Donnerbrook Suite, goes through a protected escape corridor, and exits through a sliding gate to a car park. The route is 20.1m long.

| |
|---|
| U155 (working) and to confirm that the information provided is accurate and up to date. |
| Name: _____ |
| Signature: _____ |
| Date: _____ |

CLIENT
 ABC CORPORATION
 456 BUSINESS PARK
 SHEFFIELD, S1 1BB

DESIGNER
 DEF ARCHITECTS
 789 CREATIVE WAY
 SHEFFIELD, S1 1CC

DATE
 15/10/2023

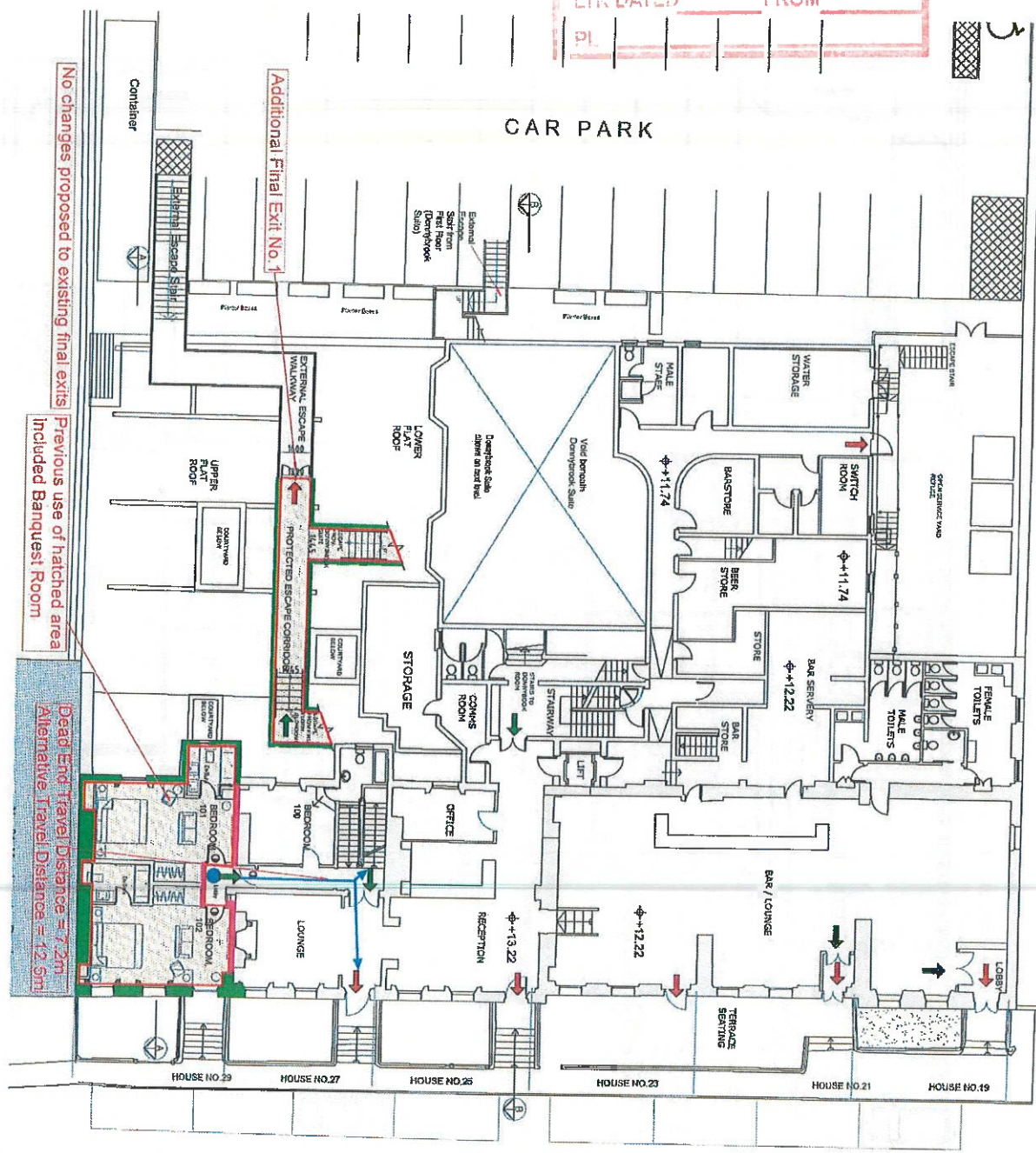
SCALE
 1:50

PROJECT NO
 12345

PROJECT NAME
 FIRE ESCAPE ROUTE ASSESSMENT

PROJECT LOCATION
 123 MAIN STREET, SHEFFIELD, S1 1AA

AN BORD PLEANÁLA
 TIME _____ BY _____
0 8 MAR 2018
 LTR DATED _____ FROM _____
 PL _____



No changes proposed to existing final exits

Additional Final Exit No. 1

Previous use of hatched area included Banquet Room

Dead End Travel Distance = 7.2m
 Alternative Travel Distance = 12.5m

Ground Floor Plan
 250M 170M

CAR PARK/DROP OFF

Fire Detection & Alarm System
 The Fire Detection & Alarm System is a system which is designed, installed and maintained in accordance with the Fire (Safety) Act 2012, 2013 Code of Practice for Fire Detection and Alarm Systems for buildings - System design, installation, commissioning, testing and maintenance.

Alarm:
 All fire detection and alarm system will be installed in accordance with the fire (Safety) Act 2012, 2013 Code of Practice for Fire Detection and Alarm Systems for buildings - System design, installation, commissioning, testing and maintenance.

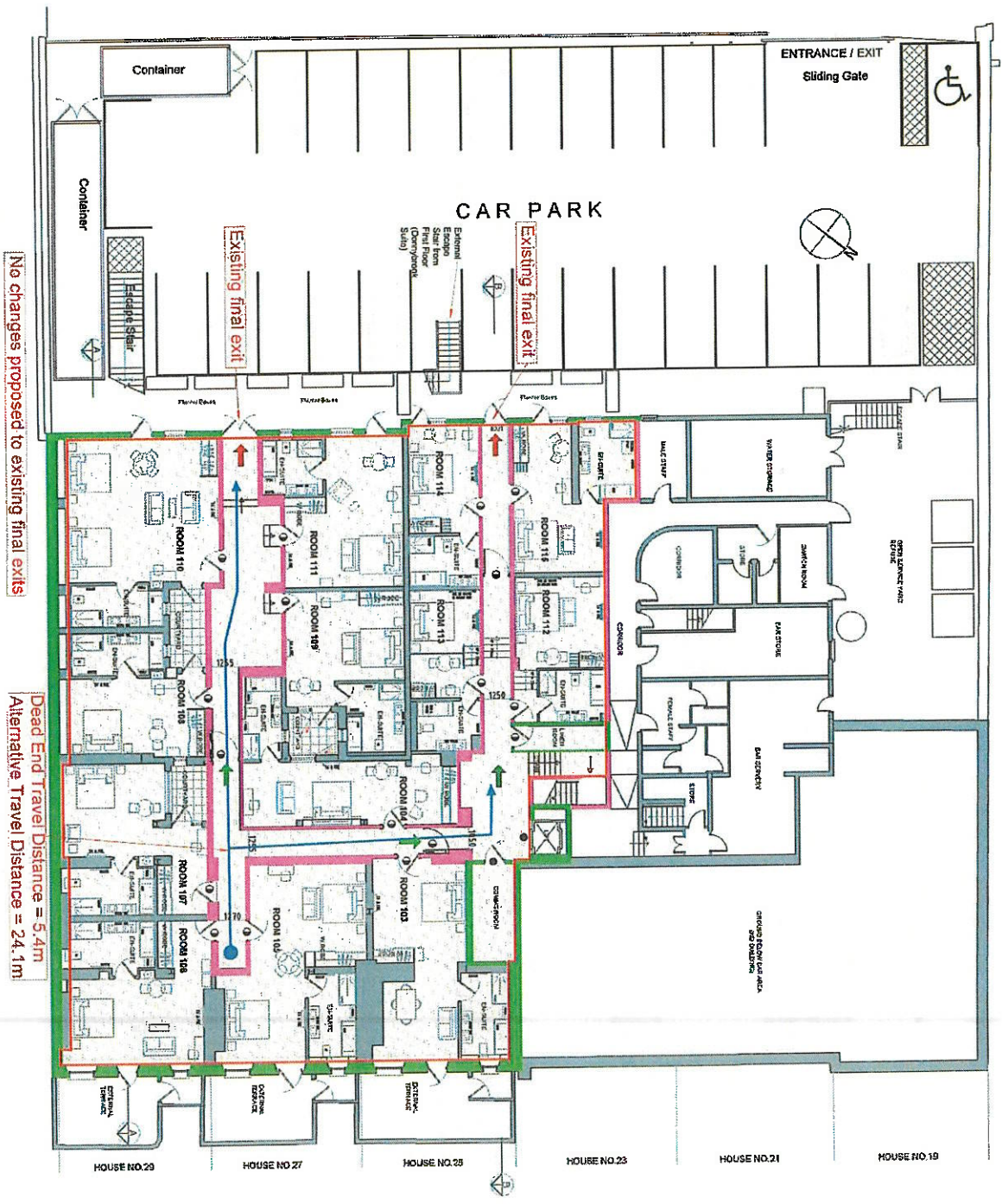
Emergency Escape Routes:
 The fire escape routes in accordance with the Fire (Safety) Act 2012, 2013 Code of Practice for Fire Detection and Alarm Systems for buildings - System design, installation, commissioning, testing and maintenance.

Means of Escape:
 Means of escape shall be provided in accordance with the Fire (Safety) Act 2012, 2013 Code of Practice for Fire Detection and Alarm Systems for buildings - System design, installation, commissioning, testing and maintenance.

| | |
|--|--|
| <p>Fire Safety Certificate No. 123456789 Issued to: [Name] Valid until: [Date]</p> | <p>Fire Safety Certificate No. 123456789 Issued to: [Name] Valid until: [Date]</p> |
|--|--|

| |
|---|
| <p>1:10k would be used in accordance with the fire (Safety) Act 2012, 2013 Code of Practice for Fire Detection and Alarm Systems for buildings - System design, installation, commissioning, testing and maintenance.</p> |
| <p>Name: [Name] Title: [Title]</p> |
| <p>Date: [Date]</p> |

| | |
|---|--|
| <p>Project Title: Fire Safety Certificate Application</p> | <p>Client: [Name]</p> |
| <p>Project No.: [No.]</p> | <p>Date: [Date]</p> |
| <p>Project Manager: [Name]</p> | <p>Design Engineer: [Name]</p> |
| <p>Fire Safety Officer: [Name]</p> | <p>Fire Safety Officer: [Name]</p> |



No changes proposed to existing final exits

Dead End Travel Distance = 5.4m
Alternative Travel Distance = 24.1m

Lower Ground Floor Plan
Scale: 1:100

Notes:

1. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
2. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
3. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
4. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
5. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
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8. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
9. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.
10. The proposed fire alarm system is a conventional fire alarm system with a central alarm panel and sounders.

| | |
|----------------------------|-------------------------|
| Project Information | Client |
| Project Name | Project No. |
| Project Address | Project Date |
| Project Manager | Project Engineer |
| Project Designer | Project Checker |
| Project Approver | Project Date |

| | |
|-------------------------|-------------------------|
| Project Name | Project No. |
| Project Address | Project Date |
| Project Manager | Project Engineer |
| Project Designer | Project Checker |
| Project Approver | Project Date |

| | |
|-------------------------|-------------------------|
| Client | Project No. |
| Project Name | Project Address |
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| Project Designer | Project Checker |
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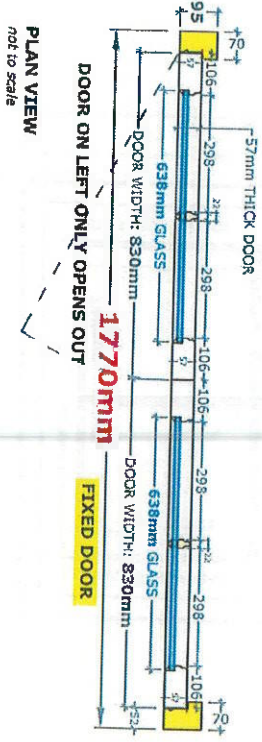
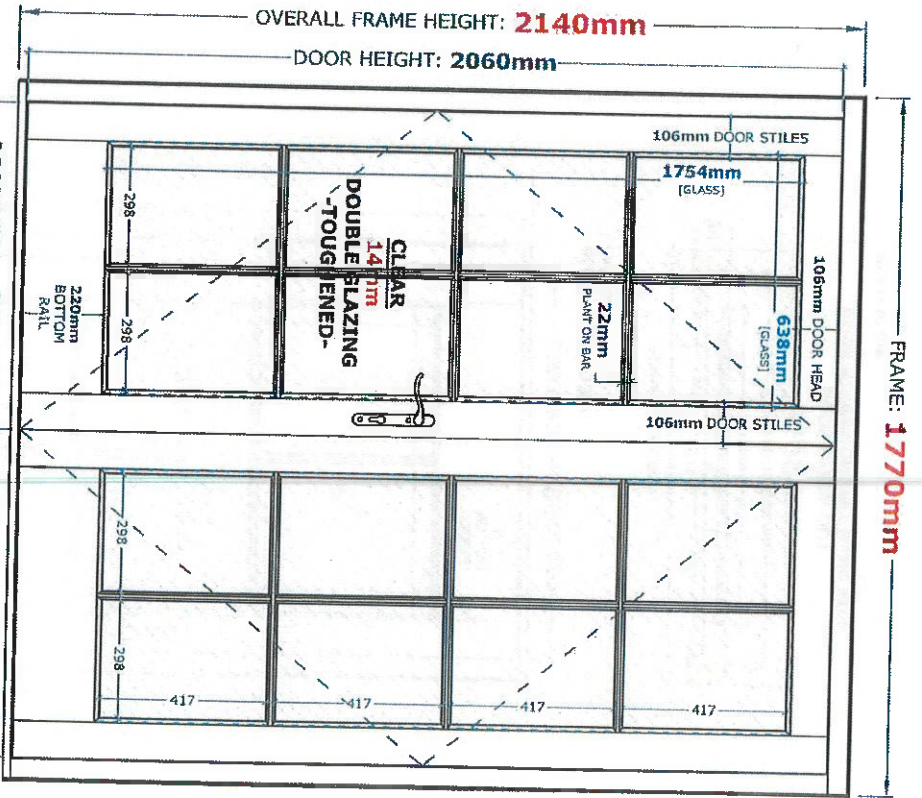
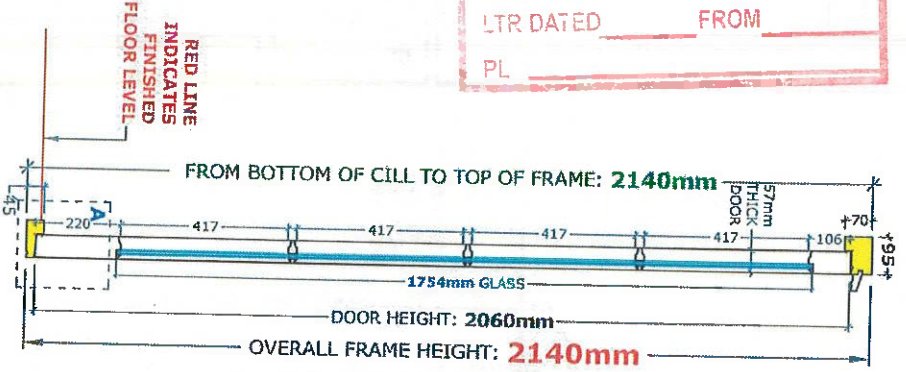
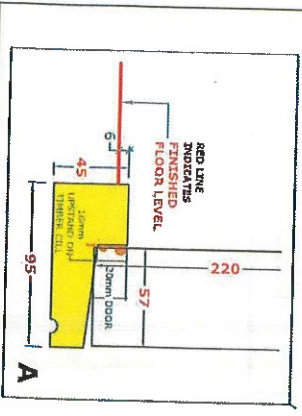
AN BORD PLEANÁLA

TIME _____ BY _____

08 MAR 2018

LTR DATED _____ FROM _____

PL _____



TEMPLEVILLE DEV. LTD.

HAMPTON HOTEL

15-19 NORTHBALCON RD, DUBLIN 4

DATE: 08/03/2018

JOB NO: **WI*****

QUANTITY: **2no**

DESCRIPTION: **D-05 D-07**

NOTES:

SUPPLY & FIT:

NEW HARDWOOD DOORS

DOORS OPEN OUT

door hinged on LEFT hand side OPENS door hinged on RIGHT hand side FIXED

PROFILE TO FRAME: **S** SQUARE

IRONMONGERY:

IRONMONGERY COLOUR: **T.B.C.**

LOCK: **4 POINT LOCK**

HANDLE: **SWAN HANDLE as drawn**

IS THUNDERBOLT REQUIRED? **?**

CYLINDER - SECURITY? **?**

WEATHER DEFLECTOR: **NOT REQUIRED**

MOBILITY WEATHERBAR: **N/A**

U-CHANNEL: **TIMBER CILL**

GLASS:

CLEAR DOUBLE GLAZED UNITS TOUGHENED 14mm TO DOOR

Low-E Warm Edge Spacer Bar & Argon Gas (CALCULATED)

TOUGHENED

GLAZED WITH TIMBER GLAZING BEADS

FINISH:

DOOR & FRAME INSIDE: **T.B.C.**

DOOR & FRAME OUTSIDE: **T.B.C.**

DATE: **10-08-16**

SCALE: **1:50**

PROJECT NO: **#2514 SD**

DATE: **25/4/04**

Prepared by: **Geraghty Joinery**

Checked by: **Adrian O'Flynn**

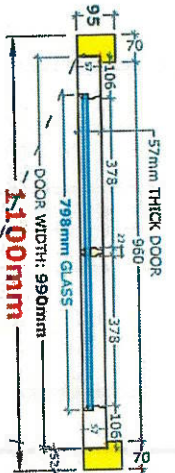
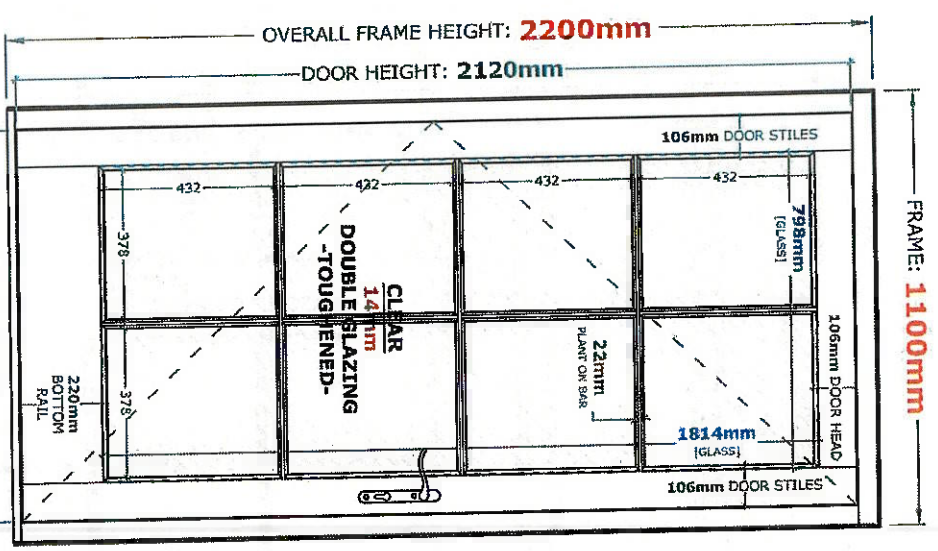
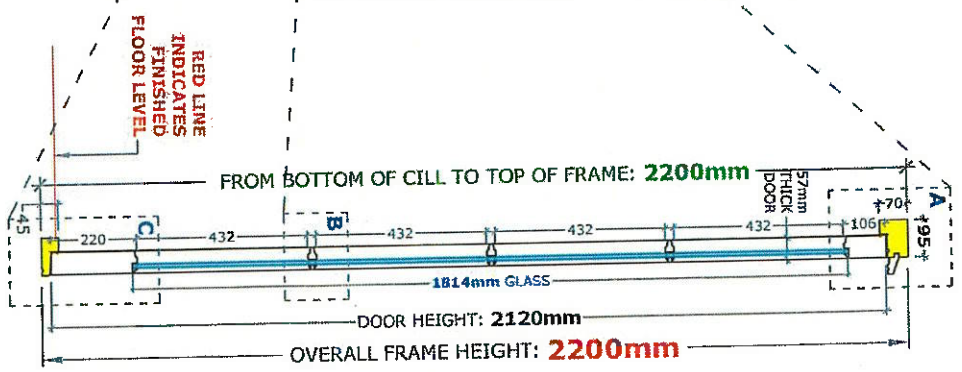
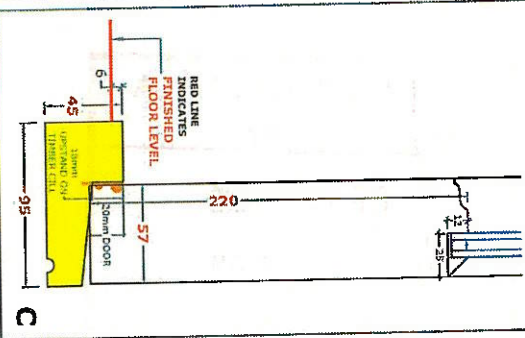
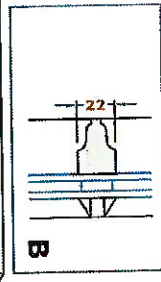
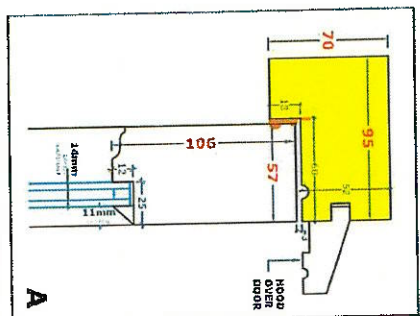
Approved by: **Adrian O'Flynn**

Company: **Geraghty Joinery**

Address: **15-19 Northbalcon Rd, Dublin 4**

Phone: **01-4911004**

Website: **www.geraghtyjoinery.com**



PLAN VIEW
DOOR HINGED ON LEFT HAND SIDE
DOOR OPENS OUT
1100mm
DOOR WIDTH: 990mm
not to scale

CUSTOMER:
TEMPLEVILLE DEV. LTD.
HAMPTON HOTEL
19-25 ROSEDALEPTON RD, DUBLIN 4
JOB NO: *****

QUANTITY: **1 No**
D-06
quantity factory ref.

NOTES:
SUPPLY & FIT:
NEW HARDWOOD DOOR
DOOR OPENS OUT
door hinged on LEFT hand side

PROFILE TO FRAME: **S** SQUARE

IRONMONGERY:
IRONMONGERY COLOUR: **T.B.C.**
LOCK: 4 POINT LOCK
HANDLE: SWAN HANDLE as drawn
IS THUMBTURN REQUIRED? **?**
CYLINDER - SECURITY? **?**
WEATHER DEFLECTOR: NOT REQUIRED
MOBILITY WEATHERBAR: N/A
U-CHANNEL: TIMBER CILL
ADDITIONAL IRONMONGERY: -

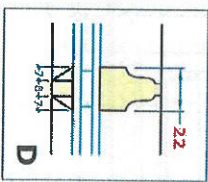
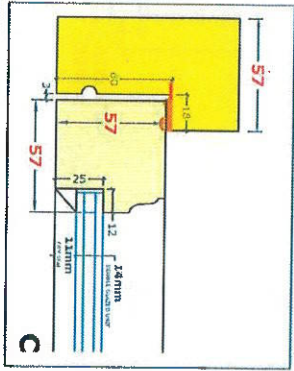
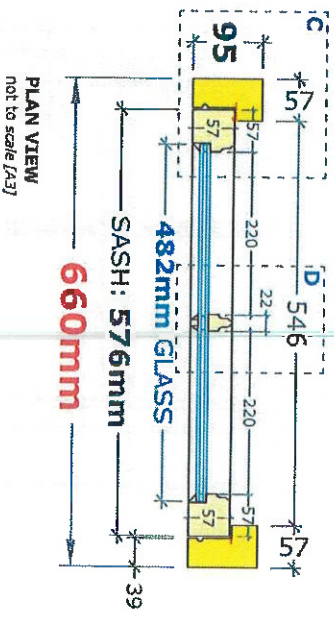
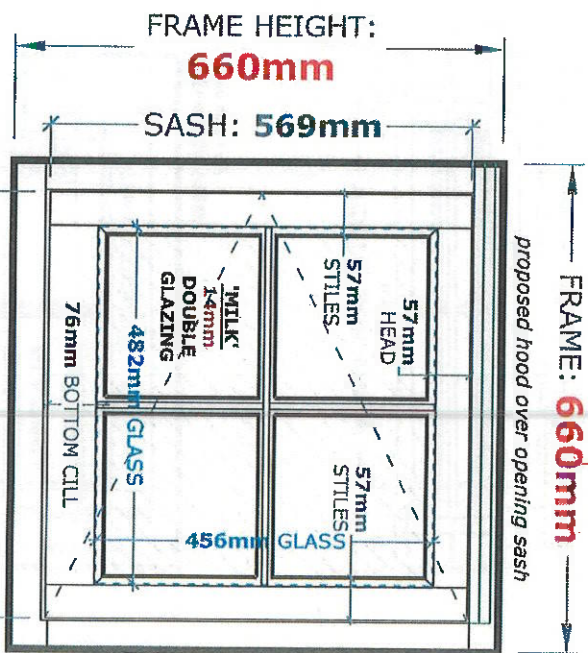
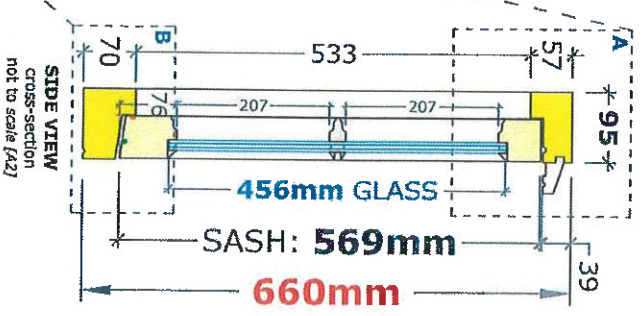
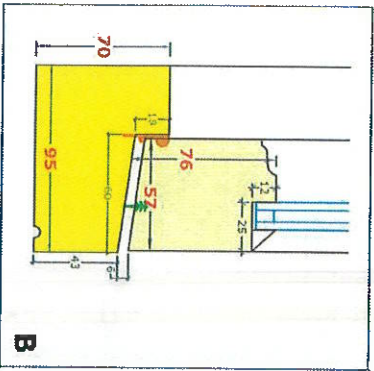
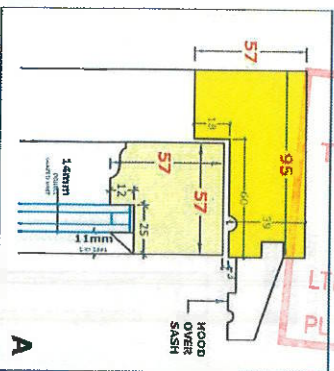
GLASS:
CLEAR DOUBLE GLAZED UNITS TOUGHENED
14mm TO DOOR
Low-E Warm Edge Spacer Bar & Argon Gas (CARLOW)
TOUGHENED
GLAZED WITH TIMBER GLAZING BEADS

FINISH:
DOOR & FRAME INSIDE: **T.B.C.**
DOOR & FRAME OUTSIDE: **T.B.C.**

date: 10-06-16
drawing ID: 2514-06
sheet size: A3

Office contact:
Adrian O'Riynn
Garaghty Joinery
measured by
Adrian O'Riynn
11.000.79103 / 1.071.60304
10.000.79103 / 1.071.60304
www.garaghtyjoinery.com

AN BORD PLEANÁLA
 TIME _____ BY _____
 08 MAR 2018
 LTR DATED _____ FROM _____
 PL _____



customer
TEMPLEVILLE DEV. LTD.
 HAMPTON HOTEL
 15-15B WOODS HAMPTON RD, DUBLIN 4
 2nd contact person: _____ contact no: _____

JOB NO: **WI******

QUANTITY
2no W-20
 W-22

NOTES
 SUPPLY & FIT:
 NEW HARDWOOD WINDOWS

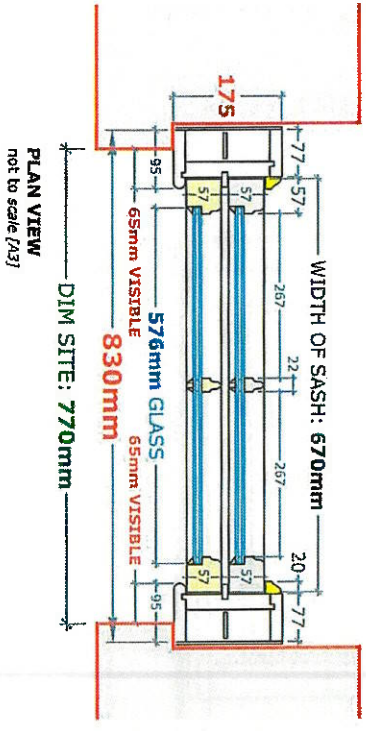
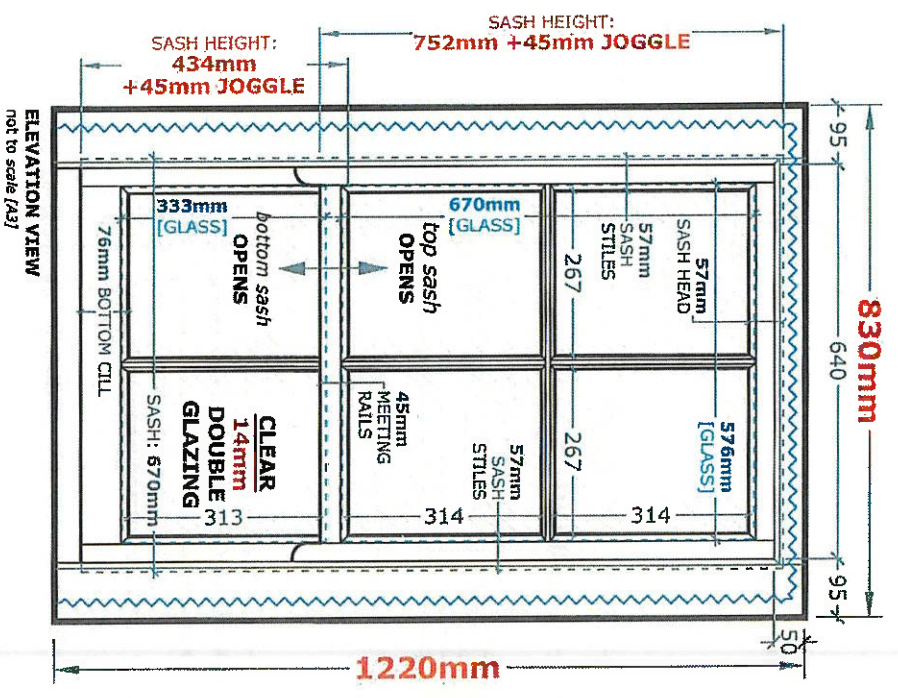
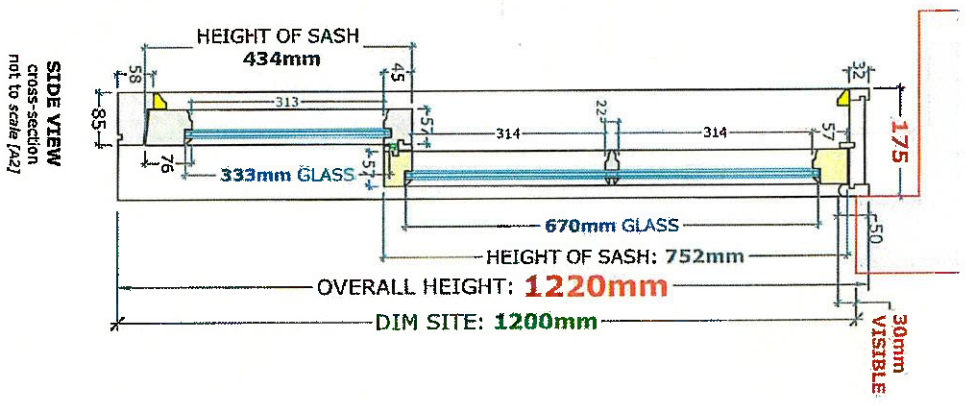
GLASS
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 Low-E, Warm Edge Spacer Bar & Argon Gas (CARLOW)
 TOUGHENED?
 GLAZED WITH TIMBER GLAZING BEADS

FINISH
 TO BE CONFIRMED

IRONMONGERY
 SUPPLY BRASS CASEMENT STAYS:
 CODED W/F325 (P8)

date: 10-09-16
 dra: #2514 SD
 scale: NTS
 drawing no: 2514-03

office contact: **Adrian O'Riain**
 measured by: **Adrian O'Riain**
 checked by: **Geraghty Jolene**
 T: 01-2911921 F: 01-260044
 E: info@geraghtyjolene.com
 W: www.geraghtyjolene.com



| | |
|---|---|
| CONTRACTOR TEMPLEVILLE DEV. LTD. 15-20 MOREHAMPTON RD, DUBLIN 4 order ref: | |
| JOB NO: WT**** | |
| QUANTITY 110 | quantity factory ref: W-24 |
| NOTES SUPPLY & FIT: NEW HARDWOOD WINDOWS - PULLETS & WEIGHTS | |
| GLASS 14mm CLEAR DOUBLE GLAZING: Low-E Warm Edge Spacer Bar & Argon Gas (CARBON) TOUGHENED? GLAZED WITH TIMBER GLAZING BEADS | |
| FINISH TO BE CONFIRMED | |
| IRONMONGERY TO BE CONFIRMED | |
| date: 10-09-16 dwg ref: #2514 SD office contact: Adrian O'Riain | revision: sheet size: A3 scale: drawing ID: 2514-02 |
| Prepared by: Adrian O'Riain Checked by: G. Conboy Date: 10/09/16 | Geraghty Joinery T: 001-2971913 F: 001-68084 W: www.geraghtyjoinery.com |

TEMPLEVILLE DEV. LTD.
 HANPTON HOTEL
 15-16 HEDDINGTON RD, BELVA 4
 GERRINHY JOHNSON
 JOB NO: W1***

QUANTITY

| | |
|-----|------|
| 3no | W-21 |
| | W-23 |
| | W-25 |

NOTES
 SUPPLY & FIT
 NEW HARDWOOD WINDOWS
 PULLEYS & WEIGHTS

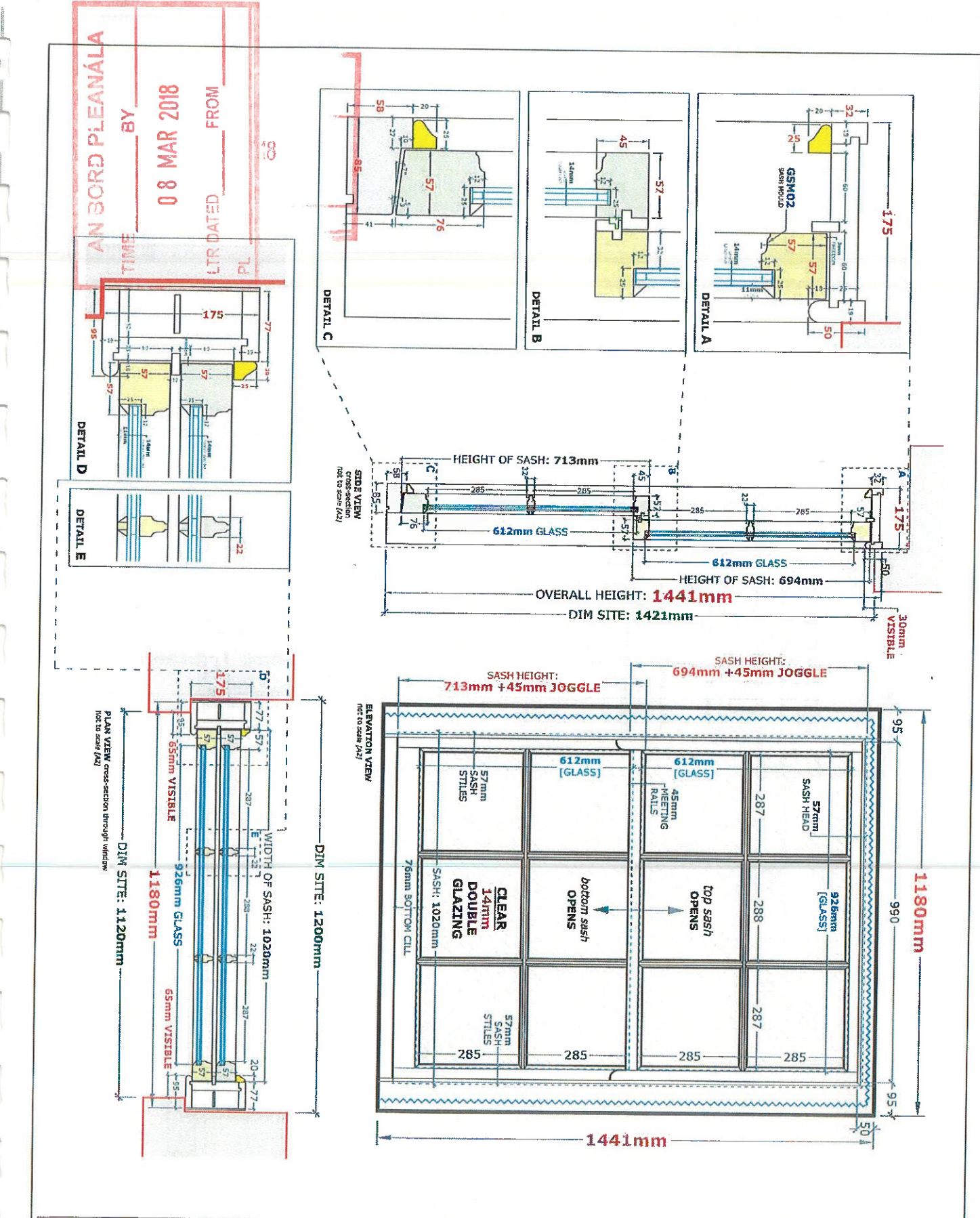
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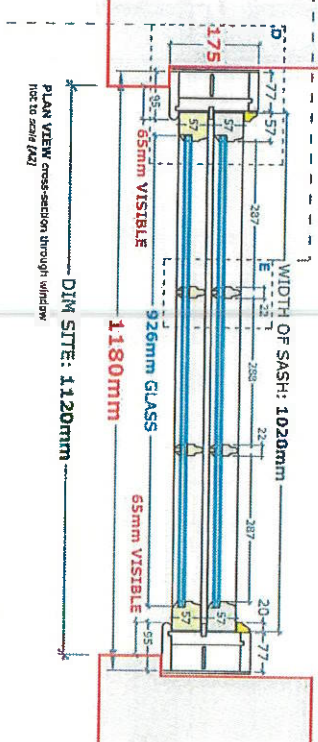
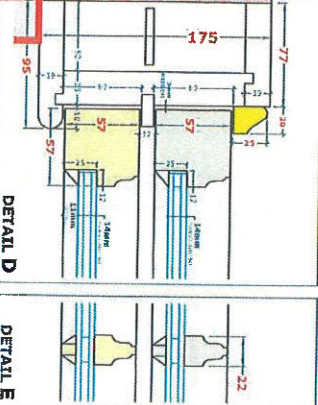
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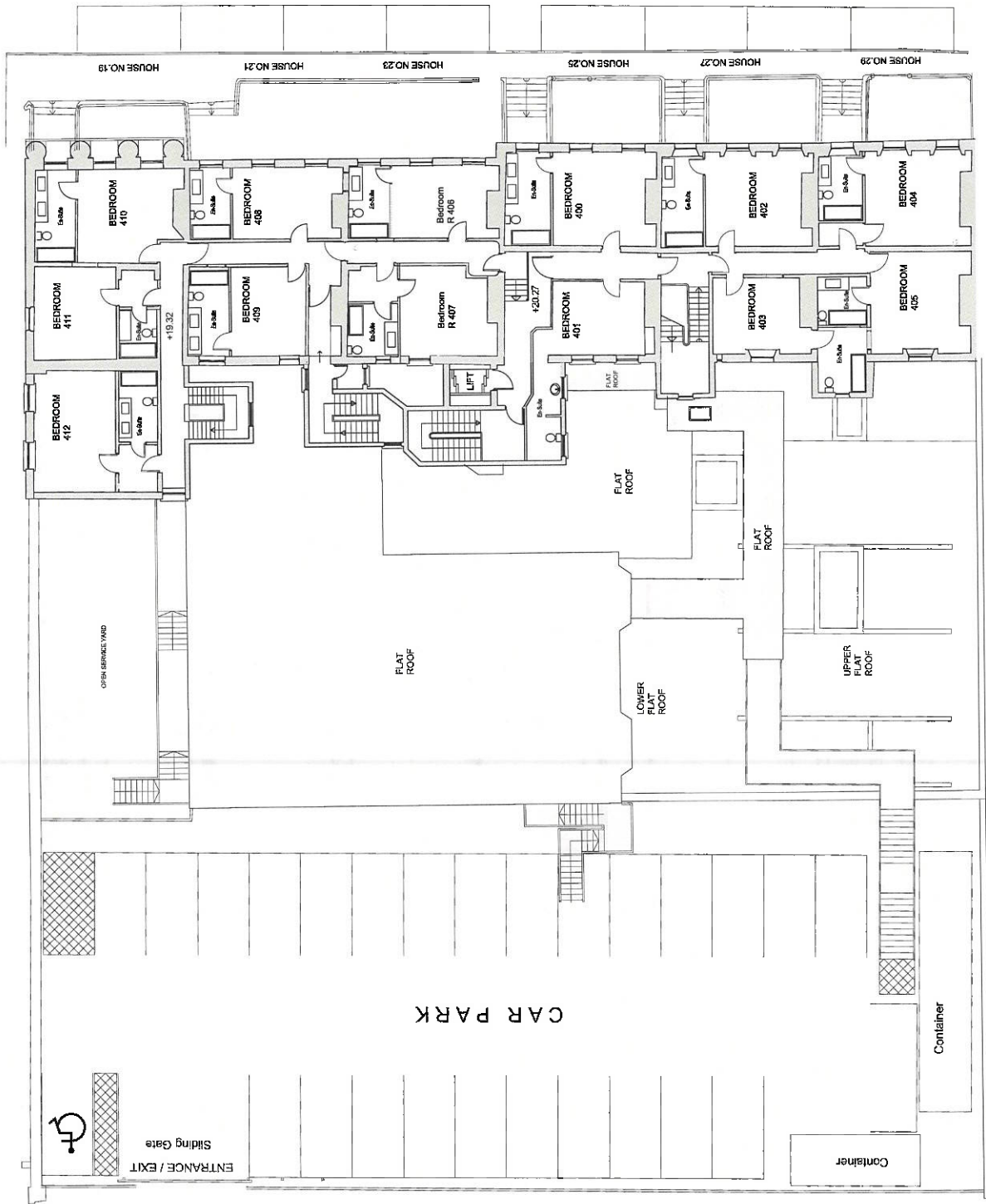
DESIGNED BY
 GERRINHY JOHNSON
 11 BELFRIES COURT
 BELVA 4
 GERRINHY JOHNSON

DATE: 01-05-18
 DRAWN BY: WJS
 CHECKED BY: JSC/CHJ
 APPROVED BY: AS



BY
 08 MAR 2018
 FROM
 PL
 TR DATED
 TIME
 AN BORD PLEANALA



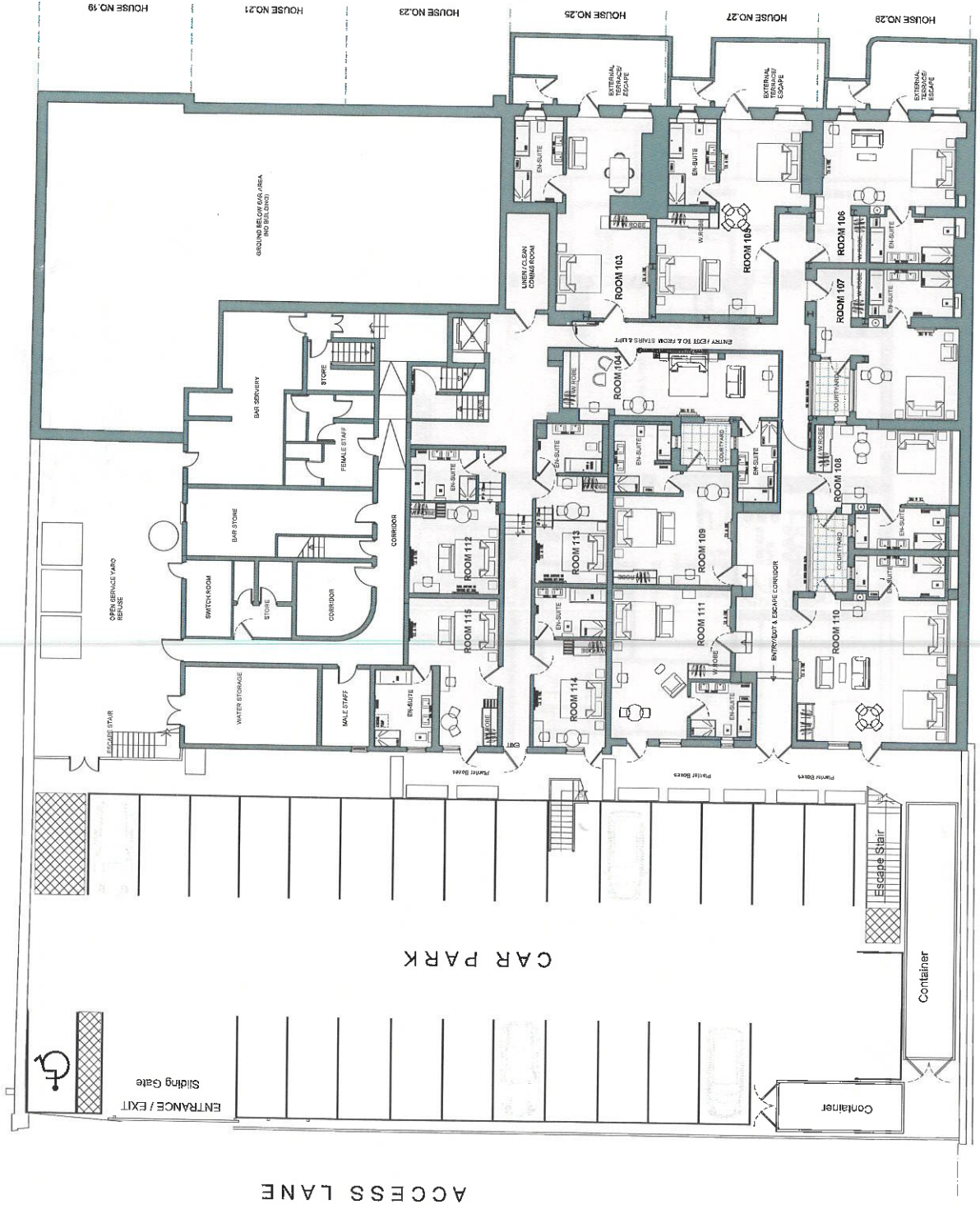


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| Project : | ALTERATIONS TO HAMPTON HOTEL, 1828 MCHEAMPTON ROAD. |
| Client : | ODSPORT LIMITED |
| Architect : | K+B Architecture + Design |
| Address : | 2 Ridgeway Villas, Kewhampton Lane, Oldham & Rochdale, Greater Manchester, M24 9JL |
| Phone : | 0161 275 1111 |
| Website : | www.kbarch.co.uk |
| Scale : | As shown |
| Revision : | A1 |
| Drawn by : | [Signature] |
| Checked by : | [Signature] |
| Approved by : | [Signature] |
| Date : | 2023 |
| Sheet No. : | 3/17 |
| Sheet Title : | F-04 |

SECOND FLOOR PLAN

ACCESS LANE

LANDSCAPING



ACCESS LANE

CAR PARK

Container

Container

Escape Stair

ENTRANCE / EXIT
Sliding Gate



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| | |
|-------------|--|
| Client: | REWPOINT LIMITED |
| Project: | ALTERATIONS TO HAMPTON HOTEL, 18-28 MOREHAMPTON ROAD |
| Drawn by: | [Name] |
| Checked by: | [Name] |
| Scale: | 1:100 |
| Date: | [Date] |
| Sheet No.: | 281-P-01 |

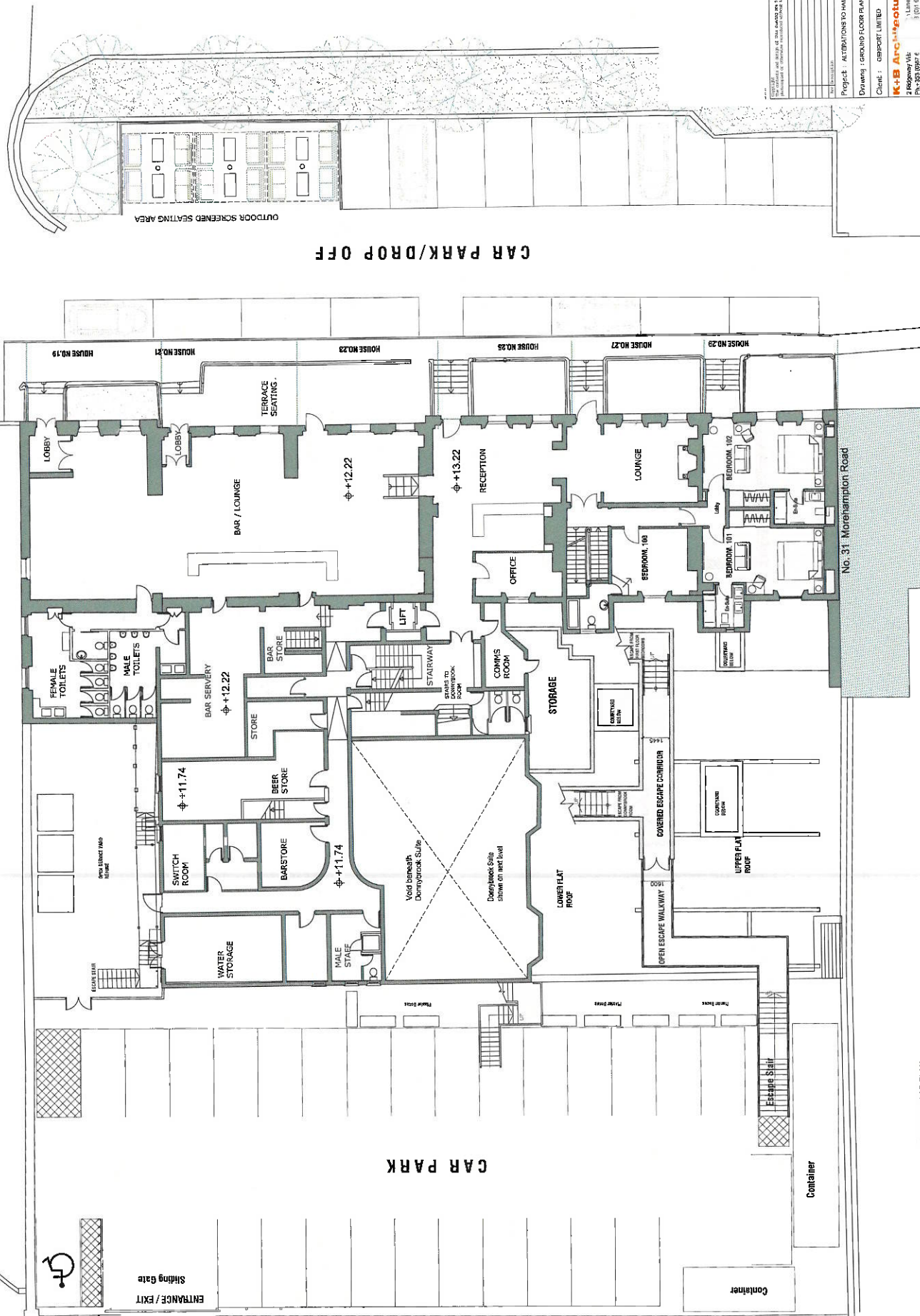
K&B Architecture + Design
 2, Rosemary Villa, Ashford Road, Lymington, Hampshire, SO41 1AA
 Tel: +44 (0)1753 881822 Fax: +44 (0)1753 881823
 Email: info@kabd.co.uk www.kabd.co.uk

ACCESS LANE

LANDSCAPING

CAR PARK

CAR PARK/DROP OFF



| | |
|--|------------------|
| Project : ALFRED TOWNS TO HAMPTON HOTEL, 19-20 MOREHAMPTON ROAD. | |
| Drawing no. : 261-P-02 | Scale : as shown |
| Client : CEPACOR LIMITED | Scale : as shown |
| K+B Architecture+Design | |
| Khalid Bin Abdullah | |
| 1071 5588003 | |
| P.O. Box 20977 | |
| Dubai, U.A.E. | |

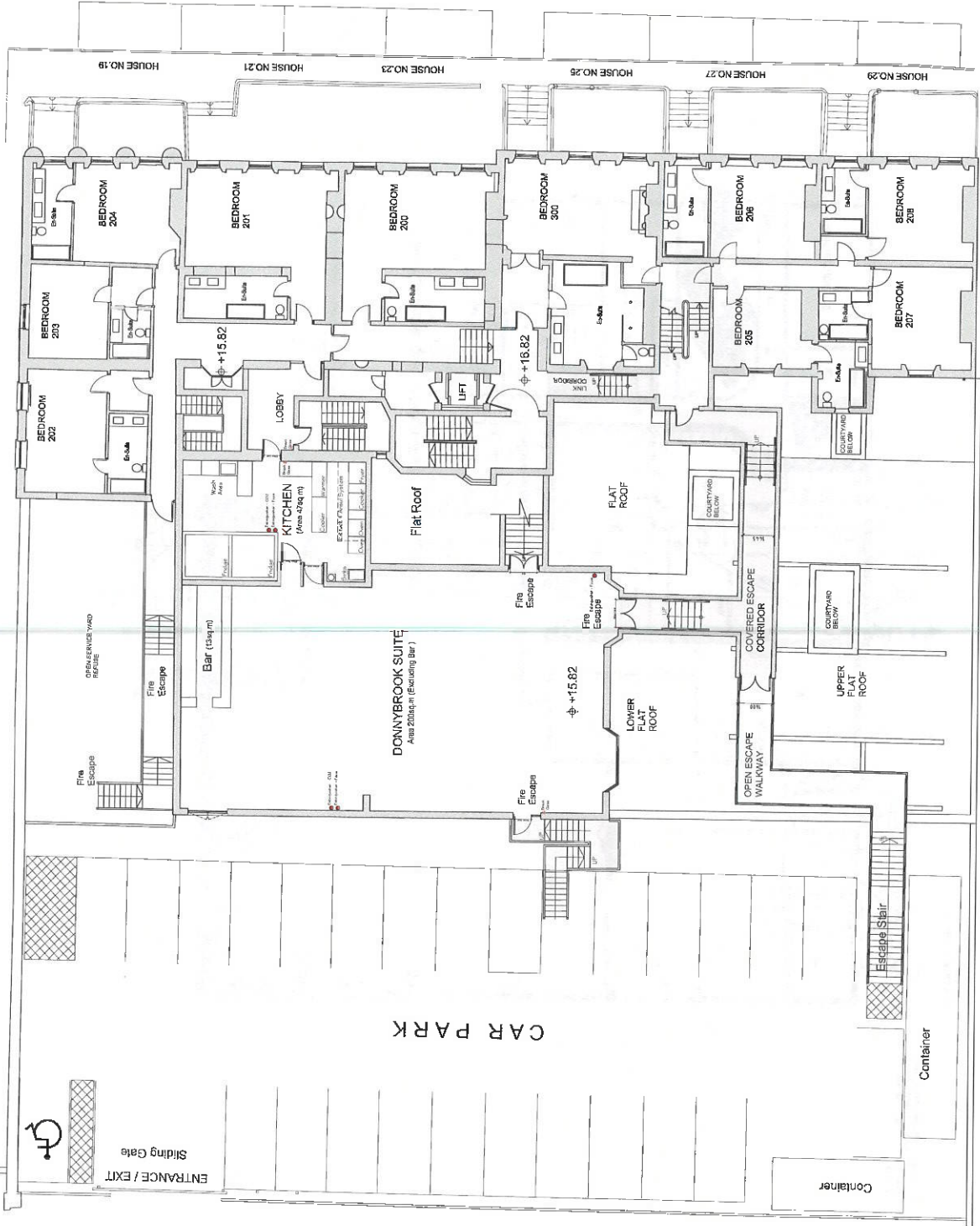
AN BORD PLEANÁLA

TIME _____ BY _____

0 8 MAR 2018

LTR DATED _____ FROM _____

PL _____



Scale: 1:100
 Drawing No: 101
 Date: 08/03/18
 Project: ALTERNATIVES TO HAMPTON HOTEL, 15-25 NORTHAMPTON ROAD
 Drawing: FIRST FLOOR PLAN
 Client: ORISPORT LIMITED
 Designer: K+B Architecture+Design
 2 Ridgeway Villa, Kilmacanogue, Co. Dublin 6
 Ph: +353 (0)181 801827 - 8523 (0) 1688620
 E: info@kandb.ie www.kandb.ie

| Rev | Description | Date |
|-----|------------------------|----------|
| 1 | Issue for client | 08/03/18 |
| 2 | Issue for planning | 08/03/18 |
| 3 | Issue for construction | 08/03/18 |

FIRE SAFETY CERTIFICATE LEGEND

THESE NOTES MUST BE CHECKED ON SITE
ALL DIMENSIONS TO BE CHECKED ON SITE
THIS DRAWING TO BE READ IN CONJUNCTION WITH FIRE ENGINEERING ANALYSIS CONSULTANT'S COMPETENT EXPLANATION OF RESISTANCE PATHS
IN THE CASE OF WALL, CEILING AND FLOOR FINISHES, THE FINISHES TO BE USED MUST BE IDENTIFIED IN THE EXPLANATION OF RESISTANCE PATHS
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THE FINISHES TO BE USED MUST BE IDENTIFIED IN THE EXPLANATION OF RESISTANCE PATHS

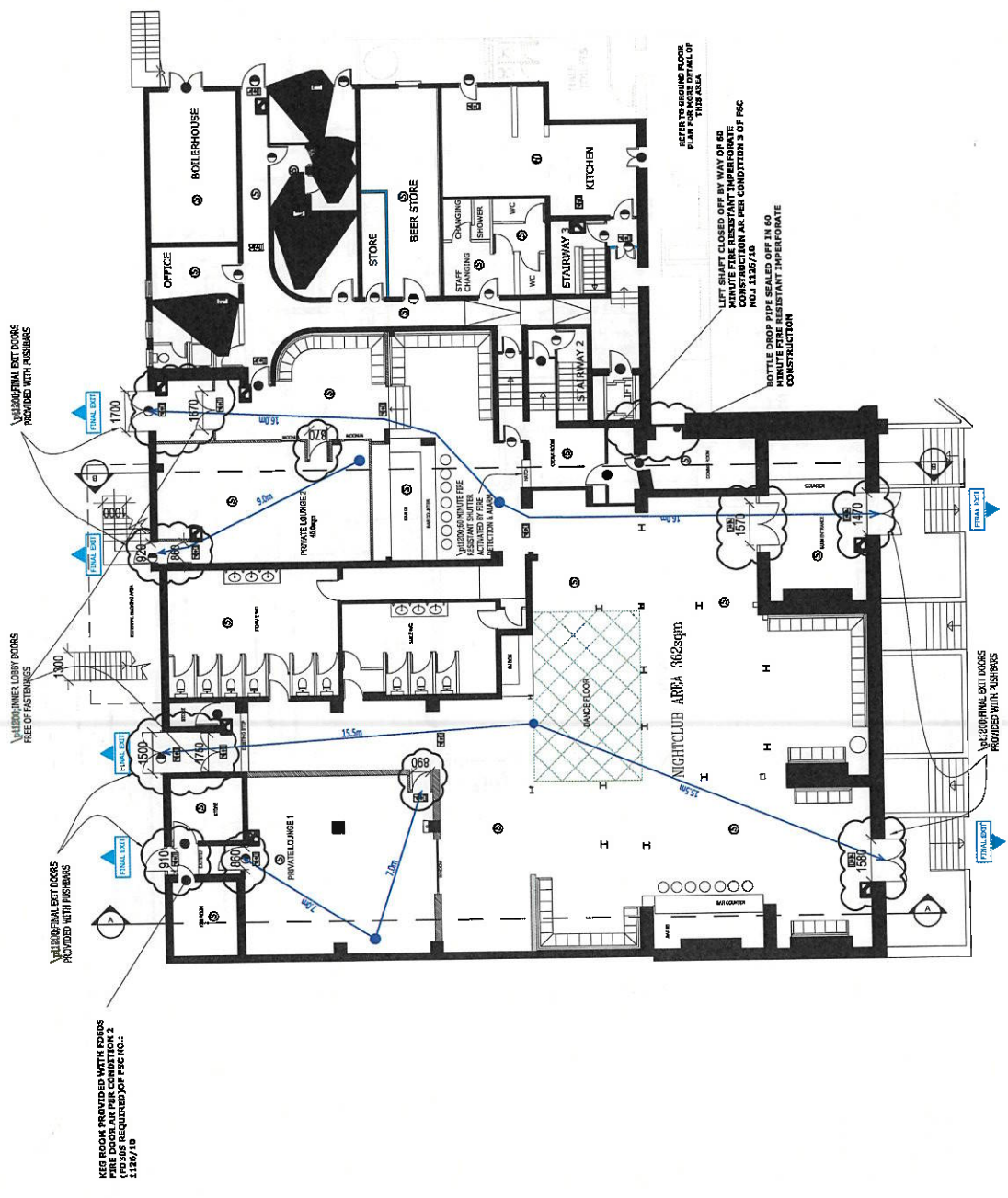
FD 60S
FD 60
FD 30S
FD 30
FD 20

FIXED SEATING
AREA SUBJECT TO MATERIAL ALTERATIONS
ALARM LEGEND
EMERGENCY EXIT SIGN
BREAK GLASS UNIT
SMOKE DETECTION TYPICAL POSITION
HEAT DETECTION TYPICAL POSITION

ADDITIONAL NOTATION
FIXED SEATING
AREA SUBJECT TO MATERIAL ALTERATIONS
ALARM LEGEND
EMERGENCY EXIT SIGN
BREAK GLASS UNIT
SMOKE DETECTION TYPICAL POSITION
HEAT DETECTION TYPICAL POSITION

KEY **DATE** **ITEM**

Colm Traynor & Associates
Fire Safety Engineering Consultants
 10th Floor, 100, The Arcade, Dublin 2
 N 806 9445773 F 01 8523015 E c@colmtraynor.ie P 01 8523014
CLIENT
 GENPORT LTD.
Project
 Drawing: Lower Ground Floor Plan
 Date: 1:100 Date: April 2016 Drawn: JCR Checked: JCR Scale: 1:100



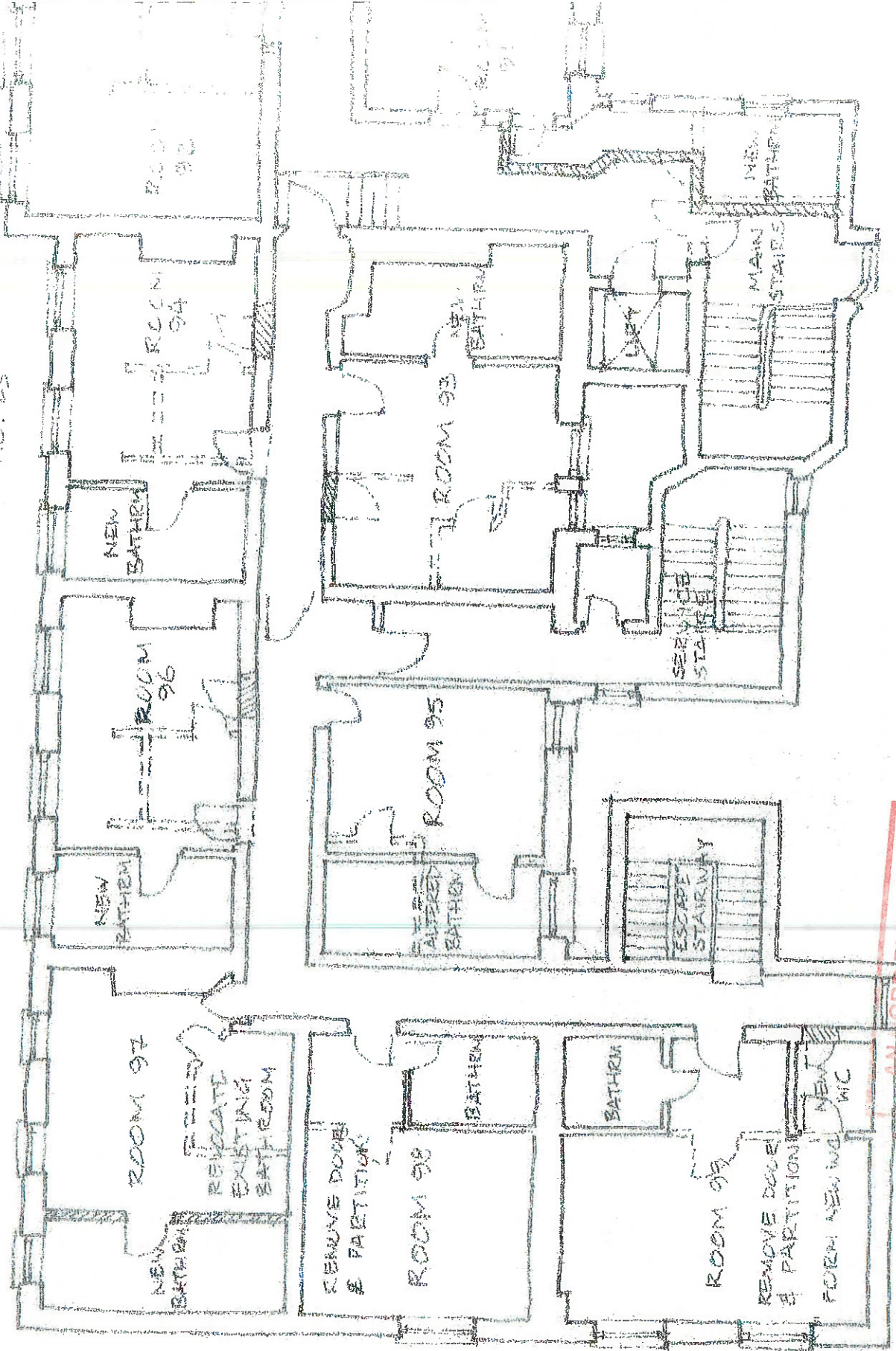
KEY **DATE** **ITEM**

Colm Traynor & Associates
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 N 806 9445773 F 01 8523015 E c@colmtraynor.ie P 01 8523014
CLIENT
 GENPORT LTD.
Project
 Drawing: Lower Ground Floor Plan
 Date: 1:100 Date: April 2016 Drawn: JCR Checked: JCR Scale: 1:100

NO. 19

NO. 21

NO. 23



SACHIS HOTEL - SECOND FLOOR
 PROPOSED ALTERATIONS - NORTH CORNER
 SCALE 1:100 APPROX. DRG. 012 - 82 - 5K
 TOTAL 0.5 MUIRE ARCHITECTS

AN ORD PLEANALA

TIME _____ BY _____

08 MAR 2018

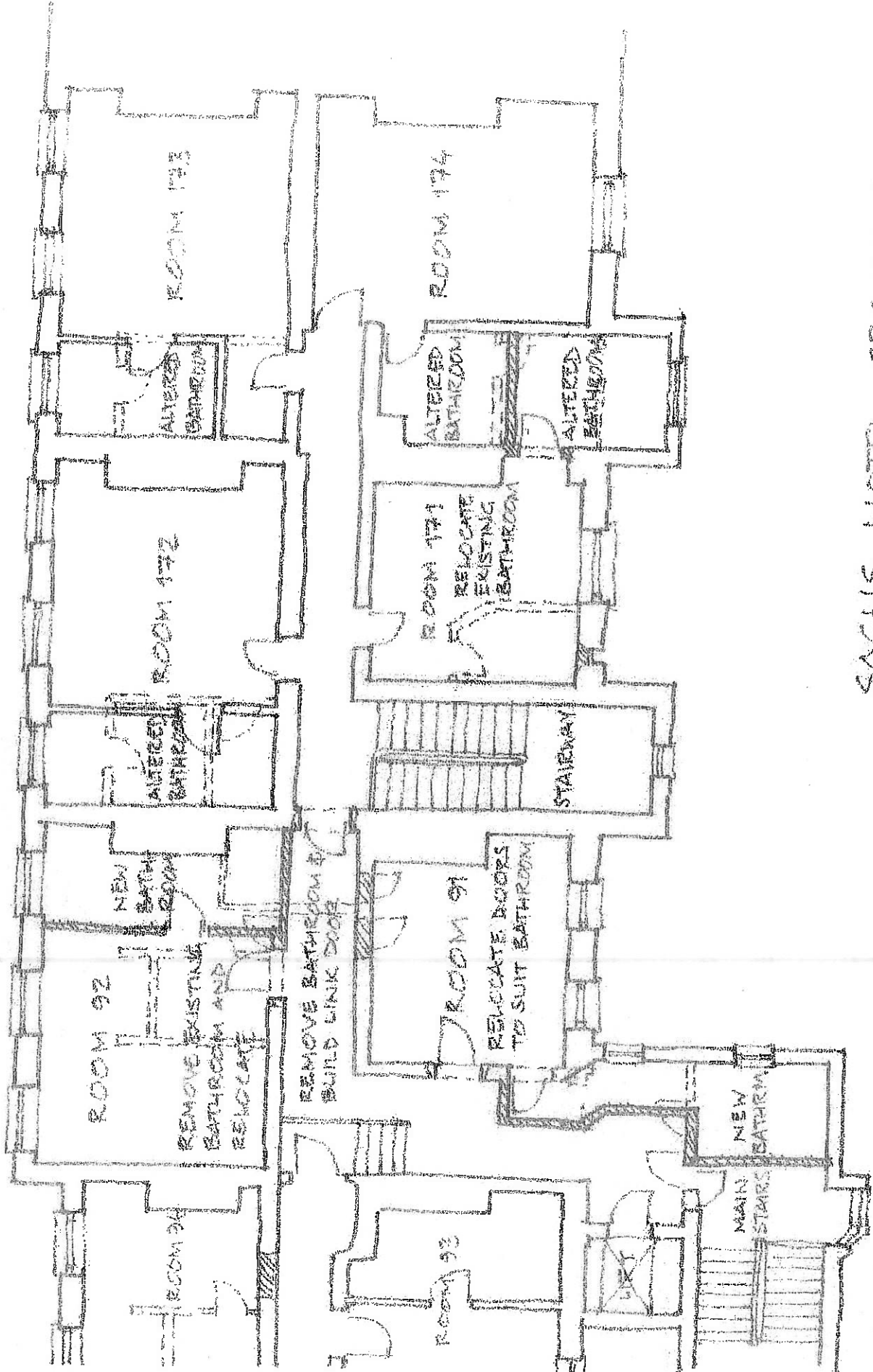
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NO. 25

NO. 27

NO. 29

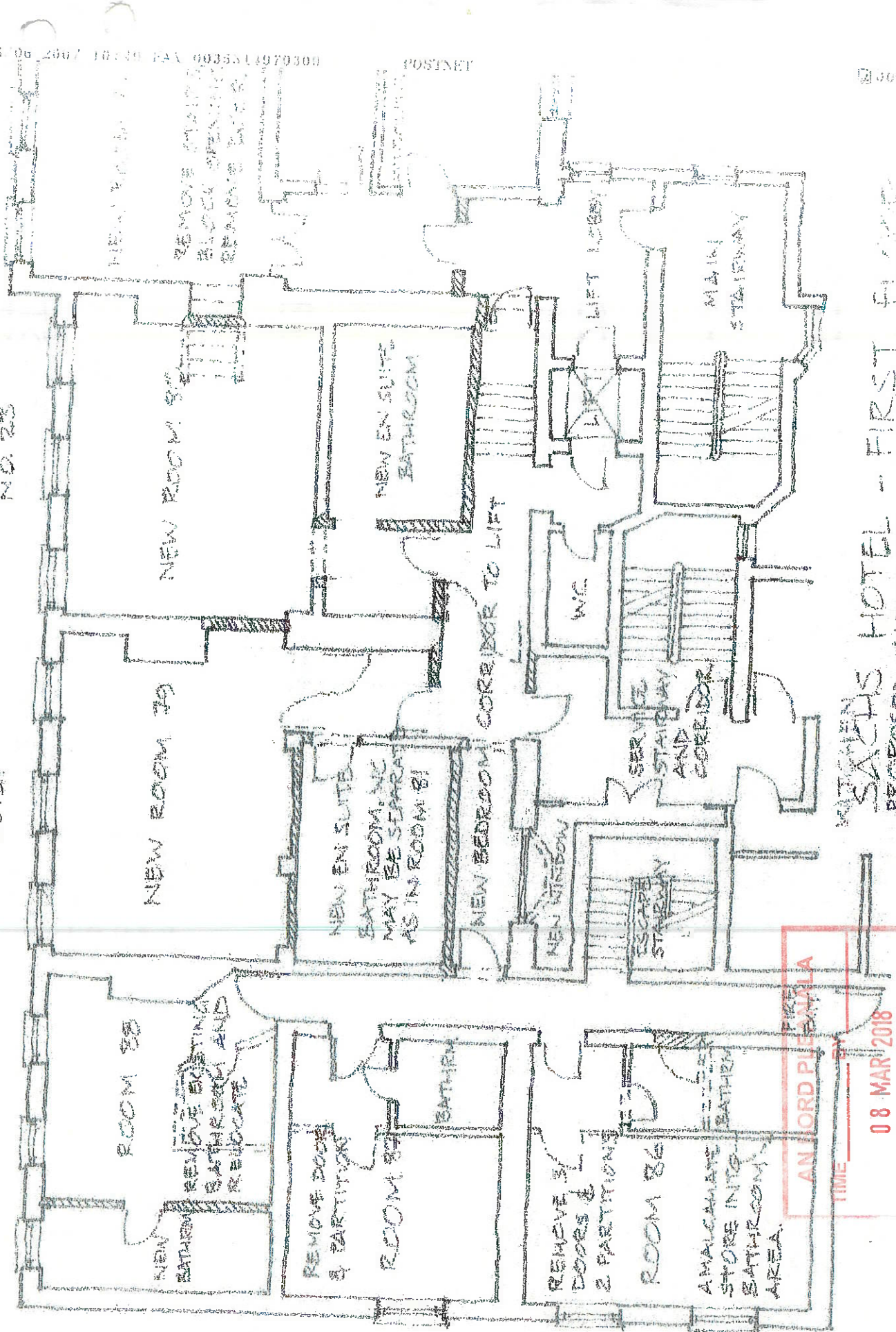


SACHIS HOTEL - SECOND FLOOR.
 PROPOSED ALTERATIONS - EAST CORNER
 SCALE 1:100 APPROX. DEG. 012-51-5K

NO. 19

NO. 21

NO. 23



WILKINSON
 SACH'S HOTEL - FIRST FLOOR
 PROPOSED ALTERATIONS: NORTH CORNER
 SCALE 1:100, APPROX. DRG. 012-72-SK

AN LORD PISAIA

TIME _____

08 MAR 2018

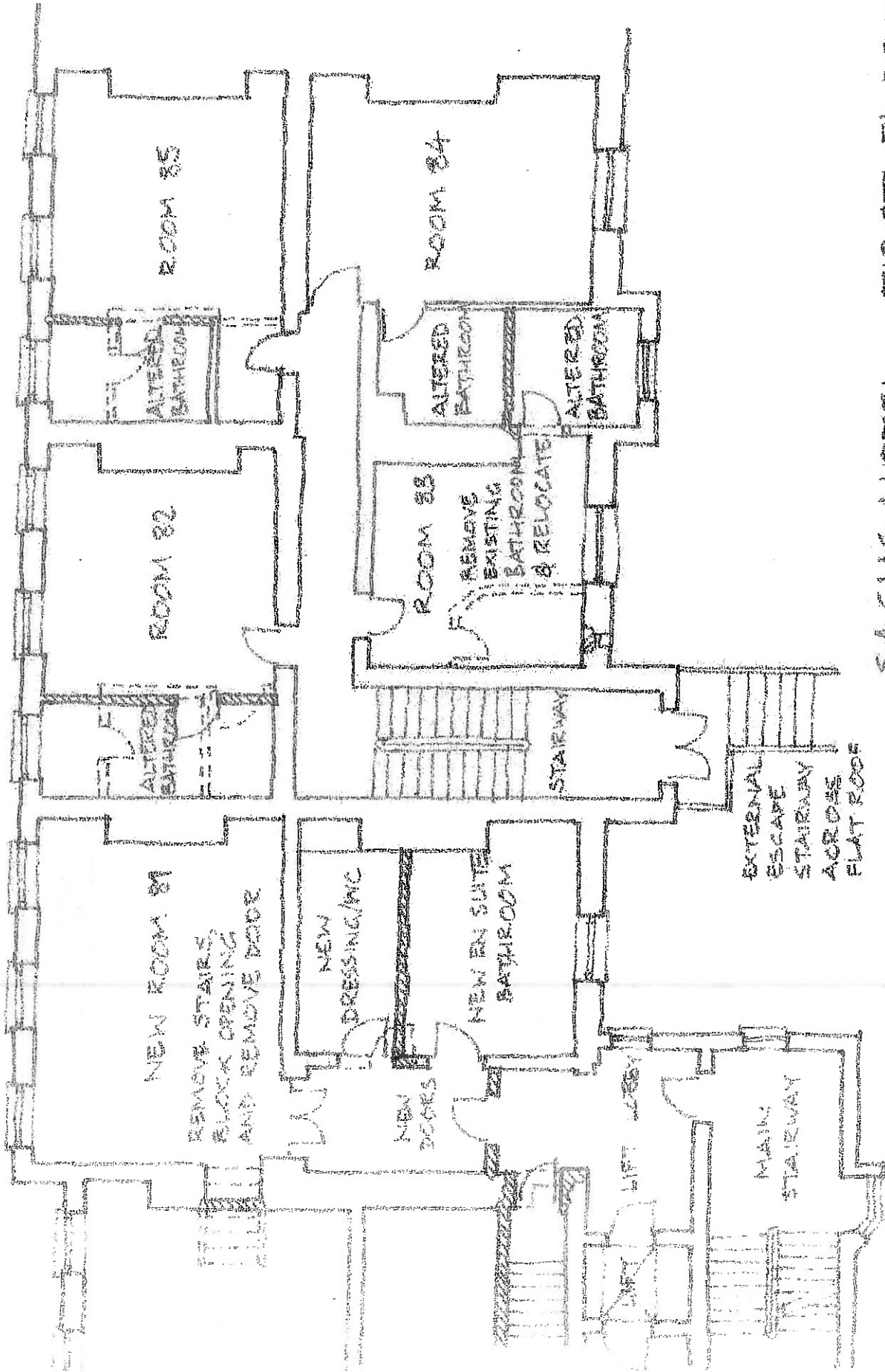
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PL _____

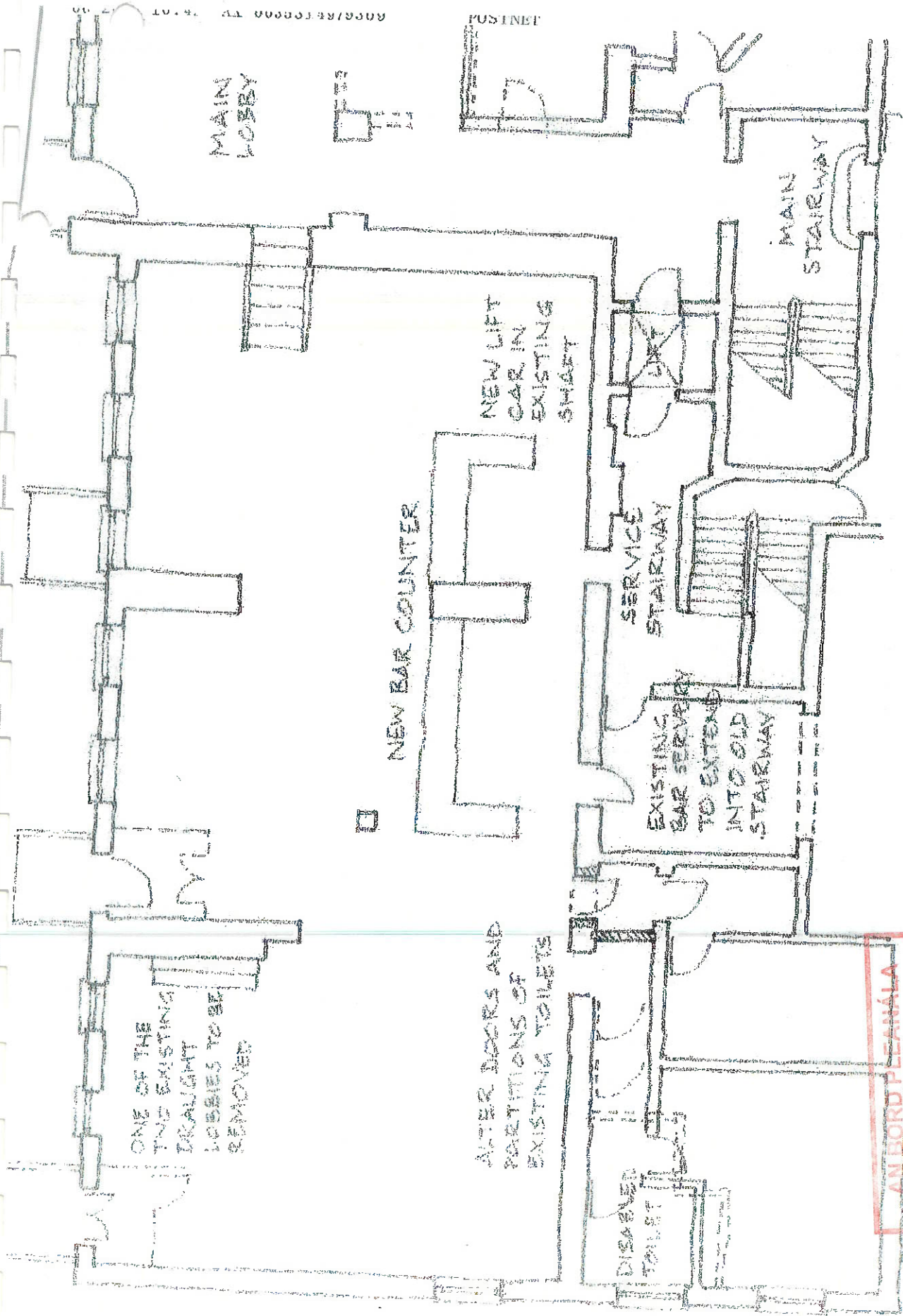
NO. 25

NO. 27

NO. 29



SACHS HOTEL - FIRST FLOOR
 PROPOSED ALTERATIONS: EAST CORNER
 SCALE 1:100 APPROX. DRG 012-F1-SK
 TOAL O MUIRE, ARCHITECT 25. 11. 2007



MAIN LOBBY

NEW BAR COUNTER

NEW LIFT CAR IN EXISTING SHED

SERVICE STAIRWAY

EXISTING BAR SERVICE TO EXTEND INTO OLD STAIRWAY

MAIN STAIRWAY

ONE OF THE TWO EXISTING Lobbies TO BE REMOVED

ALTER DOORS AND PARTITIONS OF EXISTING TOILETS

DISABLED TOILET

SACH'S HOTEL - GROUND FLOOR
 PROPOSED ALTERATIONS: NORTH CORNER
 SCALE 1:100 APPROX. DRG 012 - G2-SK
 TOAL Ó MUIRE ARCHITECT 25.06.2007

AN BORD PLEANÁLA

TIME _____ BY _____

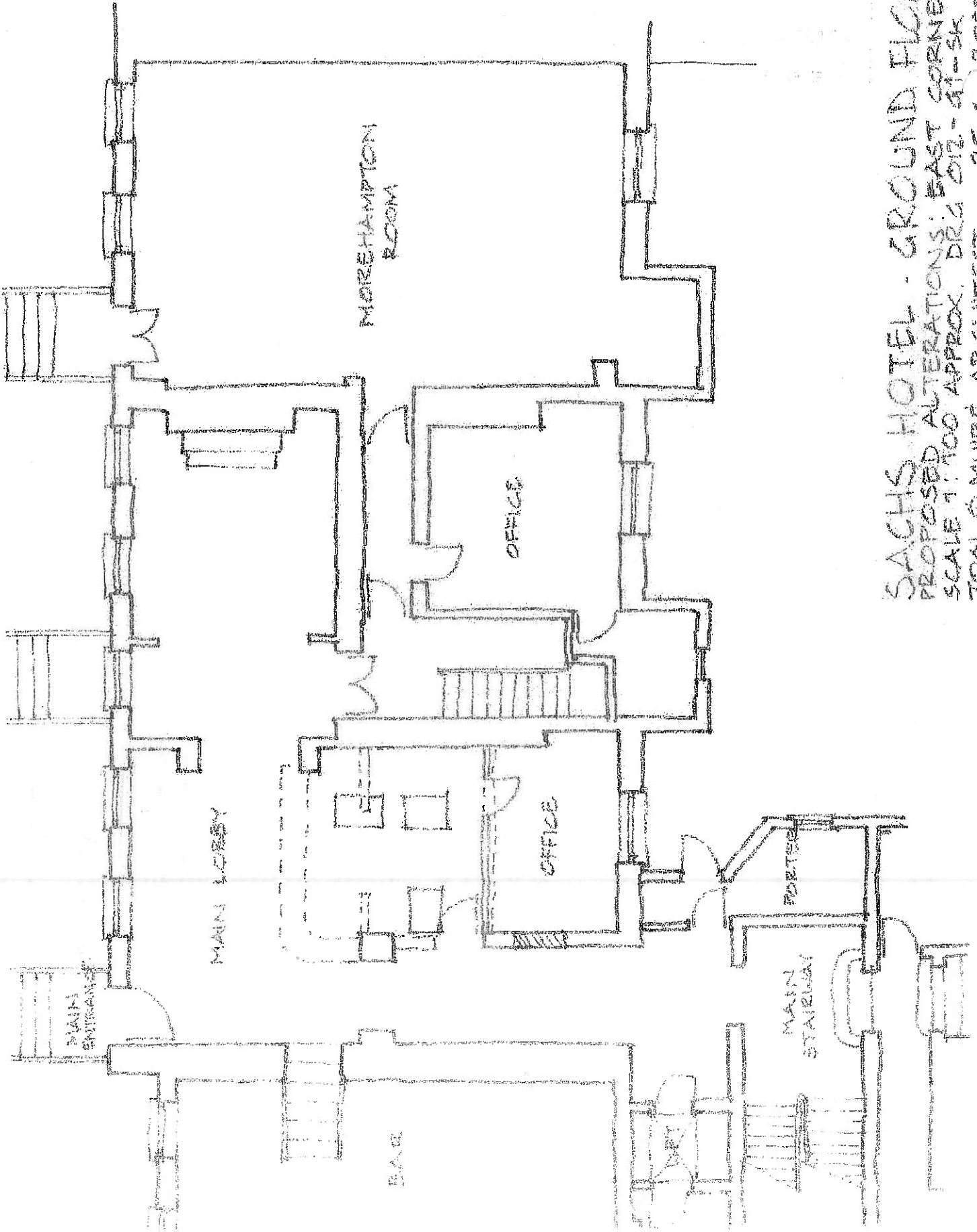
08 MAR 2018

LTR DATED _____ FROM _____

PL _____

004/RE/0000 TP 4.01

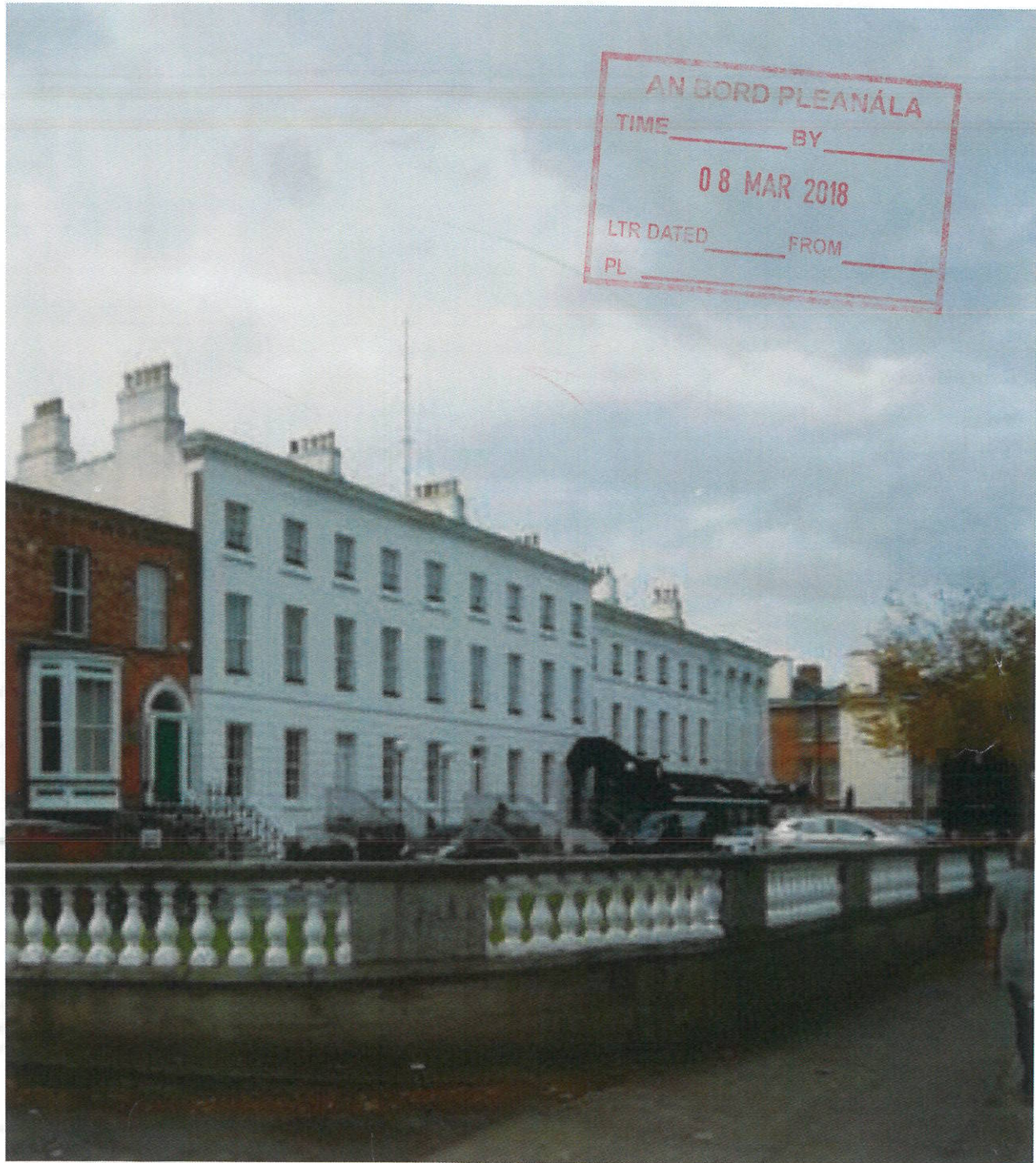
PLANET



SACHSE HOTEL - GROUND FLOOR
 PROPOSED ALTERATIONS: EAST CORNER
 SCALE 1:100 APPROX. DRG. 012 - 01-SK
 TOAL & MUIRE ARCHITECT 25.6.2007

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

**CONSERVATION ASSESSMENT OF THE WORKS CARRIED OUT TO PARTS OF
HAMPTON HOTEL, 19, 21, 23, 25, 27 AND 29 MOREHAMPTON ROAD, DUBLIN 4**



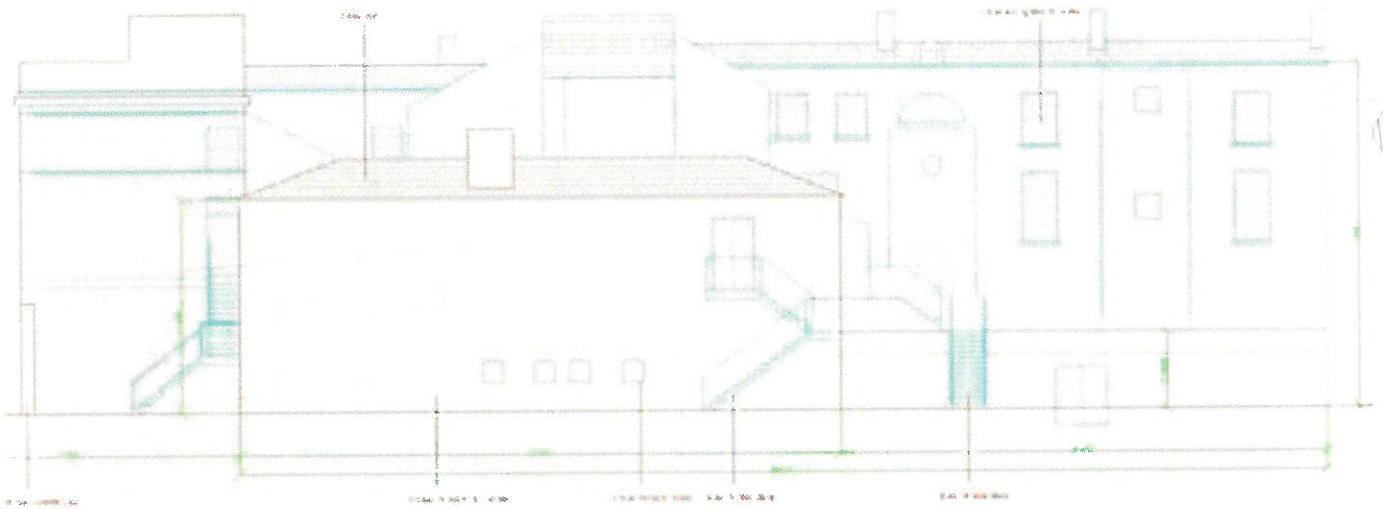
Morehampton Road elevation of hampton hotel

This report has been carried out Robin Mandal Architects on behalf of Genport Limited, the applicant for the Section 5 Declaration, at the request of PCL Halpenny, Solicitors

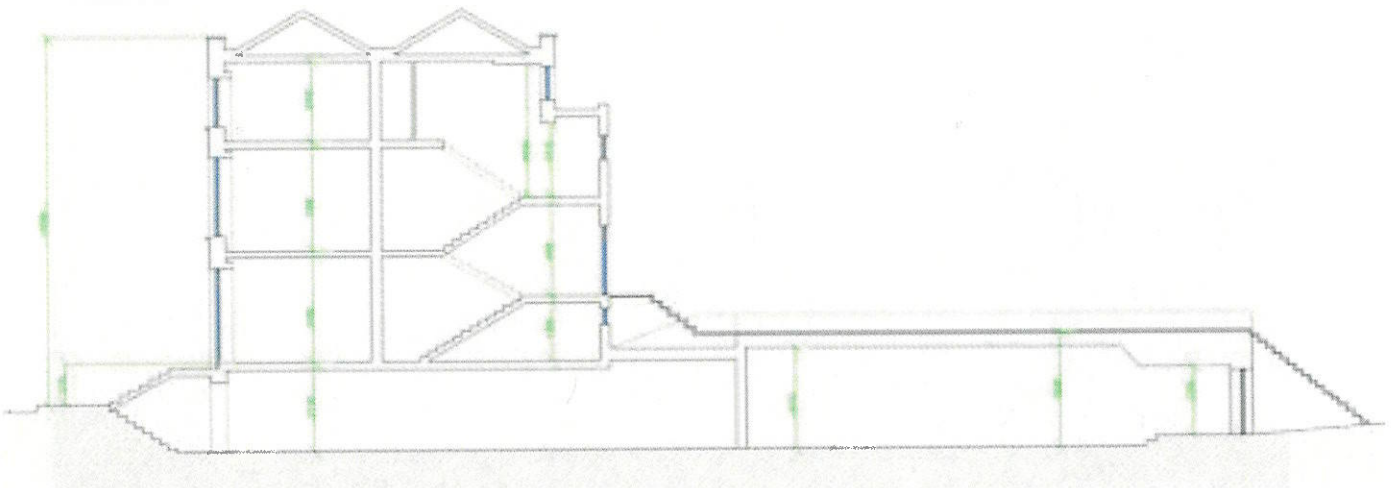
It has been prepared as part of an application for a declaration on exemption for works that have been carried out to the buildings, which are protected structures.

Robin Mandal Architect, B. Arch., M. Arch. Sc., F.R.I.A.I., R.I.B.A., A.R.B.U.K., Chartered Architect
Historic Building Consultant, RIAI Grade 1 Accredited Conservation Architect
The Courtyard, 40 Main Street, Blackrock, County Dublin
T: 01-2786164, F: 01-2836923, E: rma@meetinghall.ie, W: www.meetinghall.ie, B: <http://robinmandalarchitects.wordpress.com>

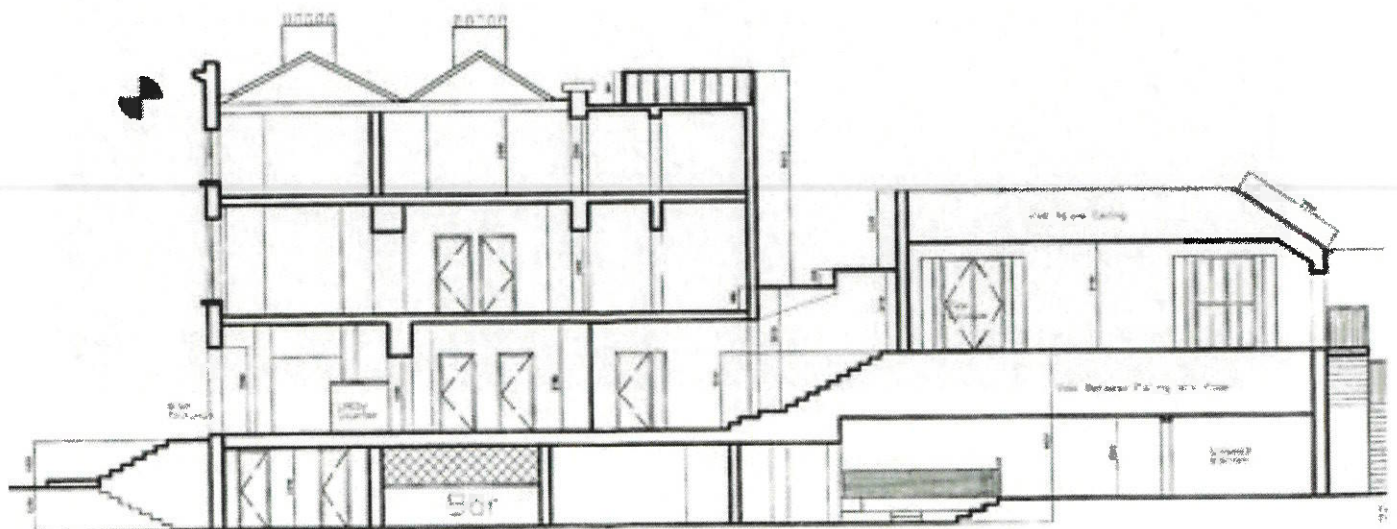
Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



Rear elevation



Section through No. 27, looking south



Section A-A

Section through No. 23, looking south (from a 1980s survey)

AN BORD PLEANÁLA
TIME _____ BY _____
08 MAR 2016
LTR DATED _____ FROM _____

INTRODUCTION

This report is set out as part of a retention planning application to Dublin City Council for works to the protected structures at 19 - 29, Morehampton Road, Dublin 4, Sachs Hotel.

The works are described in the drawings that accompany this application, and it is the intention of this report to assess the impacts of the works on the character of the protected structure.

In principle, the works contained in the proposals are as follows:

1. Ground Floor: Fireproofing the ceilings of Nos.27 and 29, and relocating a firefront,
2. First Floor: Fireproofing the ceilings of Nos.27 and 29, and relocating a firefront, two new door opes, alteration of the former restaurant to bedrooms, relocation of a modern stair flight, and filling two 1970s niches, and
3. Second Floor: One new door ope.

The building had fallen into disrepair, and these works form part of those that are required in order to repair and re-use the building as an hotel. In addition, they are required in order to comply with more modern fire safety codes. The 1970s works pre-dated both the Fire Services Act of 1981, and the Building Regulations of 1990 and 1997. These and other works were the subject of two Section 5 applications to Dublin City Council, most of which were declared as exempted development. However the works that are the subject of this application were declared as not being exempted development. This application seeks to regularise the planning situation.

The photographs included in this report illustrate the works that are the subject of the application. This report does not seek to give a detailed historical assessment or description of the buildings, as the nature of the works that are the subject of this application is such that the overall structure is substantially unchanged. No parts of the buildings are being removed, and there are no changes proposed to the outside of the buildings.

The buildings were comprehensively renewed in the 1970s, and subsequently in the 1980s, such that the interiors of the buildings date substantially from that time.

The buildings are Protected Structures under the Dublin City Development Plan 2005-2011. Their reference nos. on the Record of Protected Structures are 5399, 5401, 5403, 5405 and 5407.

The sketch survey plans attached are provided to act as a key for the photographs. They are drawn to scale and are for illustrative purposes only. The originals are included in the drawings submitted with the planning application. This report should be read in conjunction with the other documentation submitted.



aerial view of Nos. 19 – 29, Morehampton Road

DESCRIPTION

The buildings are three-storey (over semi-basement at Nos.25, 27 and 29), three-bay structures, constructed of rendered masonry with a deeply lined ground storey. Windows to the front are generally six over six vertically sliding sashes, and each building is capped by a heavily moulded parapet, behind which are a series of double-A pitched, slated roofs, in poor condition. Nos. 21 and 23 are set back from the other houses, thus forming a breakfront for No.19, which has an engaged colonnaded Ionic first and second floor. Nos.25, 27 and 29 also form a breakfront, possibly as the centerpiece of what may have been conceived as a 'palace' type terrace. Its style is regency, although it was built some time after that period.



front elevation of Nos.19 – 29, Morehampton Road

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

CONSERVATION REPORT ON THE MINOR WORKS CARRIED OUT

AT

SACHS HOTEL, 19, 21, 23, 25, 27 AND 29 MOREHAMPTON ROAD, DUBLIN 4



Morehampton Road elevation of Sachs Hotel

This document sets out the works that have been carried out to Sachs Hotel that formed part of a Section 5 Application to Dublin City Council which were decided as not being exempted development.

It accompanies a retention planning application to Dublin City Council, made on behalf of Genport Ltd.

Its aim is to describe the works, and to make an architectural heritage assessment of the impact of those works.

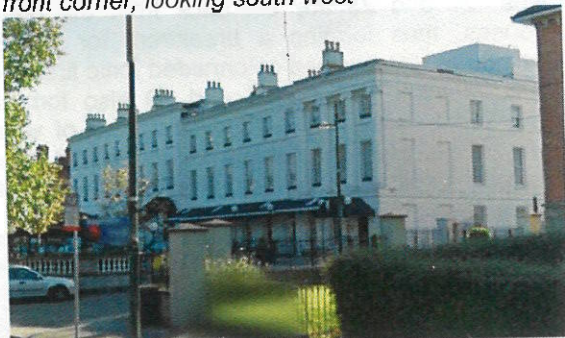
1331A

Robin Mandal Architect, B. Arch., M. Arch. Sc., F.R.I.A.I., R.I.B.A., R.S.U.A. A.R.B.U.K., Chartered Architect
Historic Building Consultant
The Meeting Hall, George's Avenue, Blackrock, County Dublin
T: 01-2786164, F: 01-2836923, E: mandal@iol.ie

AN BORD PLEANÁLA
 TIME hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4
 08 MAR 2018



front corner, looking south west



front elevation, looking southwards



Morehampton Road, looking north west

The first three houses were constructed circa 1830, with the remaining three constructed between 1850 and 1876.

The side of the building at No.19 was designed to end the terrace, and to be visible from the public roadway.



corner of No. 19, looking south to front landscape

From the historic maps, it is clear that the buildings had returns, but their forms are now either non-existent or are radically altered. Mews buildings, which had existed, have also long since disappeared.

The rears of the buildings have been much altered, and are rendered in a recent render, probably dating from the 1970s.



rear elevations of the buildings

Modern buildings have been added to the rear of the hotel in the late 20th / early 21st century. These recent buildings are generally of concrete with sand and cement renders.

The rear of no.19 was reconstructed in reinforced concrete in the 1970s, following a fire. It currently contains the water tanks for the hotel in steel tanks on the roof.



rear elevation of the function room

Internally, the buildings have been much altered. It is not intended to record or describe them in detail in this report, as the subject matter of the section 5 application is limited to those elements that are photographed and described in detail below.

The plan forms are recorded in the survey drawings that are appended to this report. Nos.19 to 25 have been altered most over the years, and Nos. 27 and 29, as the last houses to be built and as the last to be incorporated into the hotel, were altered later than the remainder of the other buildings.

INTRODUCTION

This report is set out as part of an application for a Section 5 Declaration for works carried out at 19 - 29, Morehampton Road, Dublin 4, hampton hotel.

The buildings are Protected Structures under the Dublin City Development Plan 2016-2022. The reference number on the Record of Protected Structures is 5304 and they are referred to as a hotel.

The photographs included in this report serve to illustrate the building. This report does not seek to give a detailed historical assessment or description of the buildings.

The buildings were comprehensively renewed in the 1970s, and subsequently in the 1980s, such that the majority of the interiors of the buildings dated substantially from that time. Having fallen into disrepair the building was refurbished and reopened as a hotel in the February 2009. During 2007 and 2008, works to the hotel were the subject of Section 5 declarations by Dublin City Council as well as a grant of retention planning permission for minor works carried out during the refurbishment.

This report seeks to describe works that have been carried out to the hotel in the intervening decade. It seeks to assess the impact of those works on the character of the protected structure and to demonstrate that the works do not materially affect the character of the protected structure. It also serves to act as a photographic record of the buildings in their current state of the changes that have been made.

The plans attached are provided to act as a key to the works that have been carried out. They are drawn to scale and are for illustrative purposes.

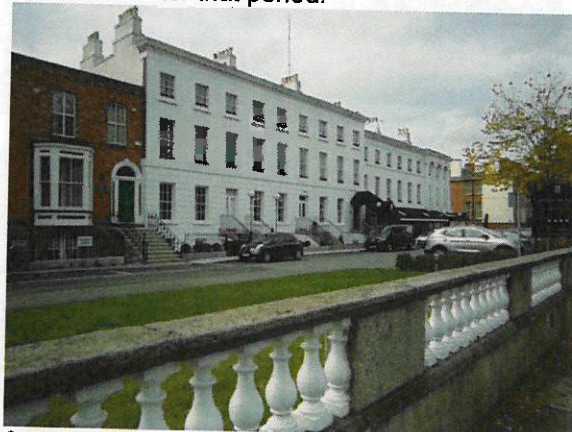


aerial view of Nos. 19 – 29, Morehampton Road

DESCRIPTION

The buildings are three-storey (over semi-basement at Nos.25, 27 and 29), three-bay structures, constructed of rendered masonry with a deeply lined ground storey. Windows to the front are generally six over six vertically sliding sashes, and each building is capped by a heavily moulded parapet, behind which are a series of double-A pitched, slated roofs.

Nos. 21 and 23 are set back from the other houses, thus forming a breakfront for No.19, which has an engaged colonnaded Ionic first and second floor. Nos.25, 27 and 29 also form a breakfront, possibly as the centerpiece of what may have been conceived as a 'palace' type terrace. Its style is regency, although it was built some time after that period.



front elevation of Nos. 19 – 29, Morehampton Road



front elevation, looking north

AN BORD PLEANÁLA

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

HISTORICAL MAPS

08 MAR 2018

LTR DATED _____ FROM _____

The maps consulted are illustrated below. They show that the buildings were not visible in Taylor's 1816 map. By 1837, the first three houses are visible.



1876 Ordnance Survey, showing all of the buildings on the site



1816, Taylor's map, with no structures in the area



First edition O.S., showing the first three buildings, Nos. 19, 21 and 23, called Adelaide Terrace

ASSESSMENT OF THE STRUCTURES

Numbers 19 to 29 Morehampton Road are a series of Regency and Victorian Houses, designed as part of a terrace in the Regency style. While the buildings were built at different times, the overall composition forms a cohesive example of the historic building style. Internally, little remains of any special architectural interest, with the majority of the internal fabric dating from the 1970s and 1980s.

Over the years, the building has fallen into disuse. At present, a programme of works is being undertaken in the buildings in order to allow for the re-use of them as an hotel. These works are generally required in order to bring the building to a condition that will allow for their re-use. These works generally do not affect the character of the protected structures, nor any elements of the protected structures that contribute to their special architectural, historical, archaeological, artistic, cultural, scientific social, or technical interest.

The author would classify this structure as of 'Regional' importance, under the National Inventory of Architectural Heritage, for its architectural interest, and its grouping with the other similar structures in the area. As the interiors of the buildings have been altered so much over the years, the author would not extend the rating to the internal parts of the buildings, nor to the rear facades.

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

The first three houses were constructed circa 1830, with the remaining three constructed between 1850 and 1876. The side of the building at No.19 was designed to end the terrace, and to be visible from the public roadway.



side elevation of No. 19

From the historic maps, it is clear that the buildings had returns, but their forms are now either non-existent or are radically altered. Mews buildings, which had existed, have also long since disappeared.

The rears of the buildings have been much altered, and are rendered in a recent render, probably dating from the 1970s.



view of the rear of Nos. 19 to 23



view of the rear of Nos. 25 to 29



front elevation, Nos. 29 and 31 Morehampton Road

Internally, the buildings have been much altered. It is not intended to record or describe them in detail in this report, as the subject matter of the planning application is limited to those elements that are photographed and described in detail below.



rear elevation of Nos. 25 to 29 Morehampton Road

The plan forms are recorded in the survey drawings and the drawings that are lodged with the application. Nos. 19 to 25 have been altered most over the years, and Nos. 27 and 29, both as the last houses to be built, and as the last to be incorporated into the hotel, retain most of their plan form, and other elements of their fabric.

The buildings have not been in use for a number of years, and it is critically important that they be re-used as soon as possible.

PHOTOGRAPHS OF THE WORKS



ITEM 1, Morehampton Suite, December 2006, showing modern ceiling



ITEM 1, Morehampton Suite, December 2007, showing fireproof suspended ceiling

PROPOSED WORKS

The works to the protected structures are clearly indicated on drawing numbers 1331-011 to -014. They consist, in essence, of internal works and works required to put the building back into use, and generally do not affect the character of the structure.

The works that are the subject of this application are as follows, and are numbered in accordance with the drawings and with the descriptive photographs below. A brief description of the reason for these works is included.

Ground Floor:

1. Fireproof suspended ceiling below 1970s ceiling in Morehampton Suite (No.29) and below ceiling in the banquet office (rear room of No.27), retaining the existing ceiling above. This work is required for fire safety purposes.
2. Relocated firefront from first floor of No.25 to ground floor of No.27. This firefront was thought to be the only original firefront that had survived in the building, and that it was originally located on the ground floor. However, it has been discovered that all of the firefronts that remain were installed in the last 35 years.

First Floor:

2. Relocated firefront from first floor of No.25 to ground floor of No.27. See above.
3. Fireproof suspended ceilings below ceilings in Nos.27 and 29, retaining existing ceilings above. This work is required for fire safety purposes.
4. New ope between Nos.25 and 27, for housekeeping purposes. This is a requirement from Failte Eireann, so that linen does not have to pass by the entrance hall at ground floor.
5. Relocation of modern flight of steps between Nos.23 and 25 to rear wall. This is required in order to allow for the circulation to No.19, after the front room of No.23 is altered to a bedroom.
6. Alteration of former restaurant to bedrooms in Nos.21, 23 and 25 to bedroom suites. This is required as the servicing requirements of a modern restaurant in a hotel are too intensive for the protected structure.

7. Filling 1970s niches above chimney breast between Nos.21 and 23. This is required because the niches are not suitable for a bedroom.
8. New door between Nos.19 and 21 to allow level access from lift. This is required in order to allow for disabled access to the bedrooms in No.19.

Second Floor:

9. New door between Nos.25 and 27 to allow level access from lift. This is required in order to allow for disabled access to the bedrooms in Nos. 27 and 29.

ASSESSMENT OF THE WORKS

The proposed works involved to the interior of the building are required for its re-use as an hotel. The impacts, in the opinion of the author, are described below.

1. Ceilings: Neutral, moderate and medium term.
2. Firefront: Neutral, imperceptible and medium term.
3. Ceilings: Neutral, moderate and medium term.
4. New ope: Neutral, moderate and medium term.
5. Steps: Neutral, moderate and medium term.
6. Alteration to former restaurant into bedrooms: Positive, moderate and medium term.
7. Niches: Neutral, moderate and medium term.
8. New ope: Neutral, moderate and medium term.
9. New ope: Neutral, moderate and medium term.

All of the works described above are reversible, in accordance with the charter of Venice. They impact on elements of the structures that are not, in the author's opinion, of any special interest, and their impact is low. In particular, with regard to the suspended ceilings that are required for fire safety, they can be removed without any impact on the earlier ceilings above.

The terminology used in describing the impacts above have the meanings ascribed to them by the Environmental Protection Agency in its guidelines on Environmental Impact Statements.

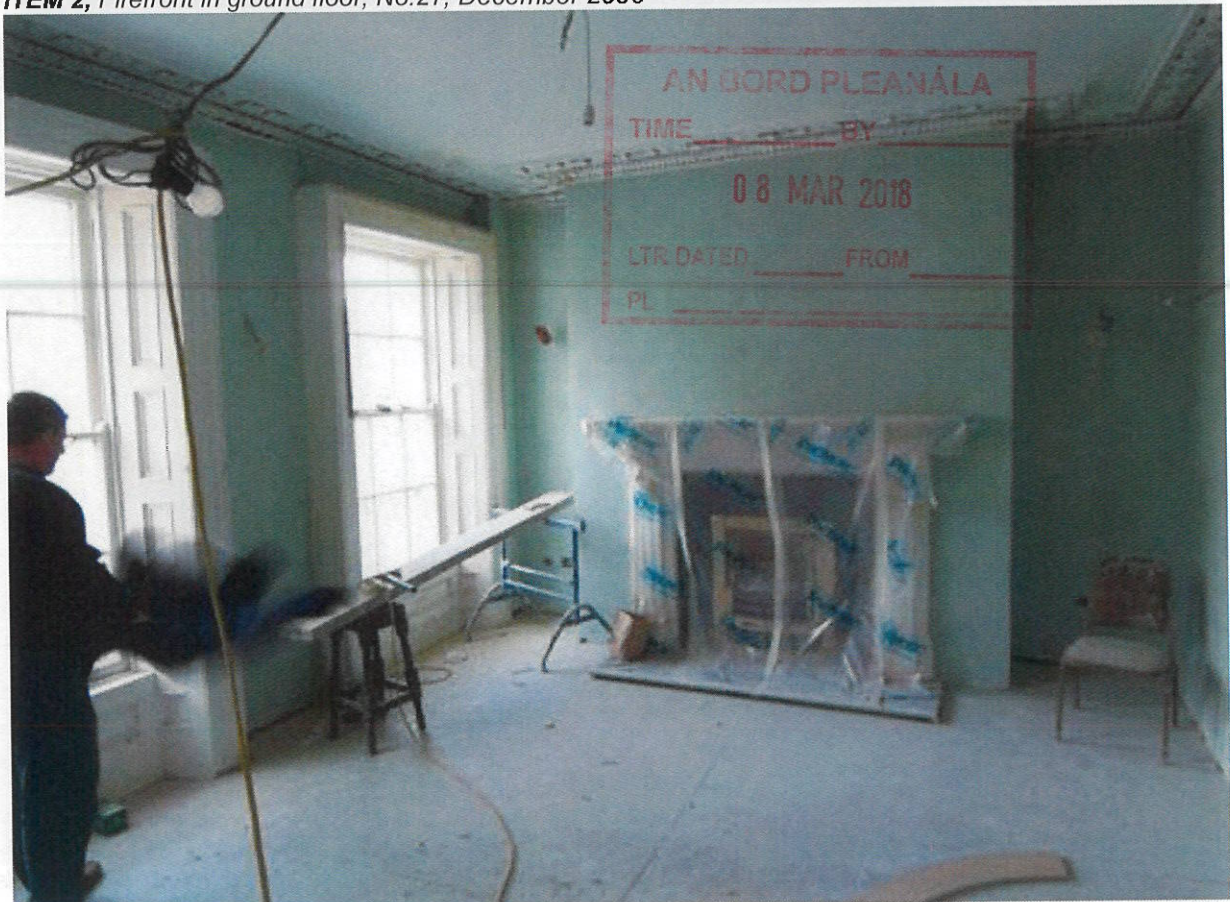
It is the view of the author that the proposals, for which planning permission is being sought, are reasonable and in the long term interest of the survival of the protected structure, the most important factor for which is that it be put into use as soon as possible.

Robin Mandal

10th December 2007



ITEM 2, Firefront in ground floor, No.27, December 2006



ITEM 2, Firefront in ground floor, No.27, December 2007



ITEM 1, Banquet Office, No.26, December 2006, showing existing ceiling



ITEM 1, Banquet Suite, No.27, December 2007, showing fireproof suspended ceiling and existing details retained above



ITEM 3, front room No.29, December 2006



ITEM 3, front room No.29, December 2007, showing fireproof suspended ceiling and existing details retained above



ITEM 3, front room No.27, December 2006



ITEM 3, front room No.27, December 2007, showing fireproof suspended ceiling and existing details retained above

19, Morehampton Road, Dublin 4

METHOD STATEMENT FOR THE REINSTATEMENT OF THE EXISTING BALUSTRADE

AT

19, MOREHAMPTON ROAD, DUBLIN 4



Detail of the damaged section of the balustrade

This document sets out the methodology for work to be carried out at 19, Morehampton Road, Sachs Hotel, for the reinstatement of the balustrade, that has been damaged.

It has been carried out on behalf of Genport Ltd.

1331A

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Dublin City Council, Fire Prevention Section
Fire Brigade Headquarters, 165-169 Townsend Street, Dublin 2, Ireland

Comhairle Cathrach Bhaile Átha Cliath, Rannóg um Choisctheacht Dóiteáin
Ceanncheathrú Briogáide Dóiteáin, 165-169 Sráid Chnoc na Lobhar, B.Á.C. 2, Éire

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REGULARISATION CERTIFICATE NO.: FSC3224/17/REG

Application for a Regularisation Certificate (Reg. Ref. No.: FA/17/1559/REG)

FOR: MATERIAL ALTERATION / EXTENSION TO A BUILDING: THE RE-CONFIGURATION OF THE EXISTING LOWER GROUND FLOOR FROM PREVIOUS NIGHTCLUB TO 13 INTO. HOTEL BEDROOMS. THE RE-CONFIGURATION OF THE EXISTING GROUND FLOOR FROM PREVIOUS BANQUET ROOM INTO 2 NO. HOTEL BEDROOMS. THE RE-CONFIGURATION AT FIRST FLOOR LEVEL OF THE DONNYBROOK ROOM, KITCHEN, ADDITIONAL PROTECTED CORRIDOR AND FD30S DOOR TO ADDITIONAL LINK CORRIDOR.

AT: HAMPTON HOTEL, 19-29 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4.

Please note the following important information relating to the decision to grant this Regularisation Certificate (Reg. Ref. No.: FA/17/1559/REG):

Dublin City Council, being a Building Control Authority, issues this Regularisation Certificate (Reg. Ref. No.: FA/17/1559/REG) in the prescribed form as set out in Fourth Schedule of the Building Control Regulations 1997 as amended by the Building Control (Amendment) Regulations 2009 (S.I. No. 351 of 2009).

It should be noted that the inspection carried out on foot of Article 20C(6)(a) of Building Control (Amendment) Regulations 2009 S.I. No. 351 of 2009 was a visual inspection of the relevant works in existence on the date of inspection. The purpose of the inspection was to establish that the plans, documents, drawings and information submitted related to the relevant works which were the subject of the application. As the inspection was a visual one only, it took no account of works not visible or covered up.

Accordingly, the Regularisation Certificate to which this note relates is based only on the completion of the works being as described in the plans, documents and information submitted with the application for the certificate subject to such modifications as are specified in any condition(s) attached to the certificate.

The following extract from the Building Control (Amendment) Regulations 2009 S.I. No. 351 of 2009 should also be noted:

"Prohibition on opening, operation or occupation of buildings.

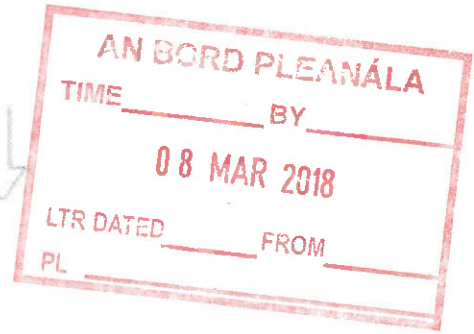
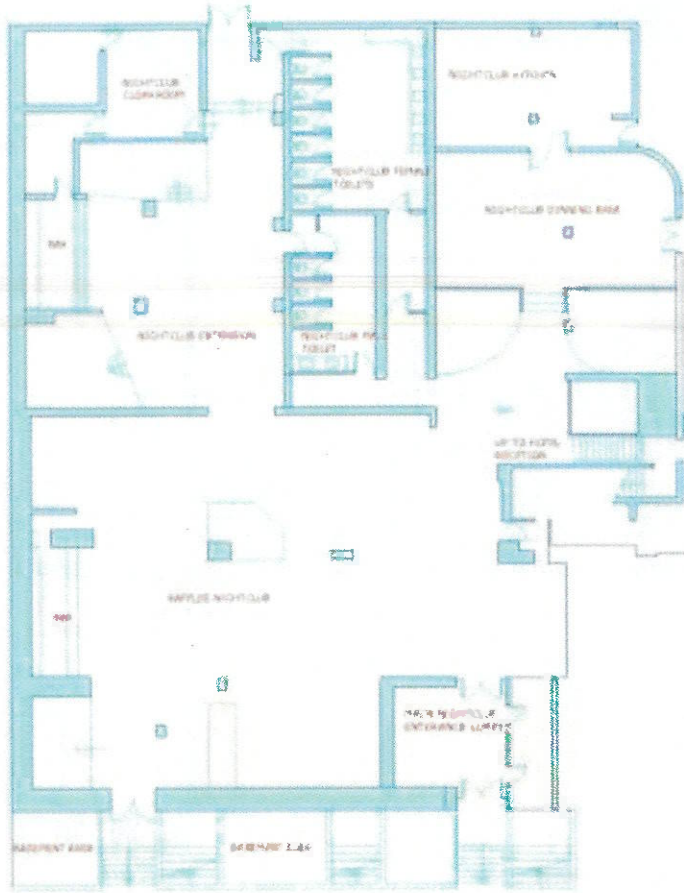
43. (1) A new building or an existing building in respect of which an extension or a material alteration has been made, shall not be opened, operated or occupied or permitted to be opened, operated or occupied,

- (i) unless a fire safety certificate, a disability access certificate (or, as the case may be a revised certificate of either kind) or a regularisation certificate required by these Regulations has been granted by the building control authority in relation to the building, or**
- (i) if such appeal is made to it, pending the determination by An Bord Pleanála of an appeal relating to a refusal to grant any of the certificates or revised certificates referred to in clause (i) or the attachment of conditions to any of them."**

43. (2) It is declared that an offence contrary to article 43(1) of these Regulations is an offence to which section 17(2) of the Act applies."

This page should accompany Regularisation Certificate (Reg. Ref. No.: FA/17/1559/REG) at all times and should not be disassociated from it.

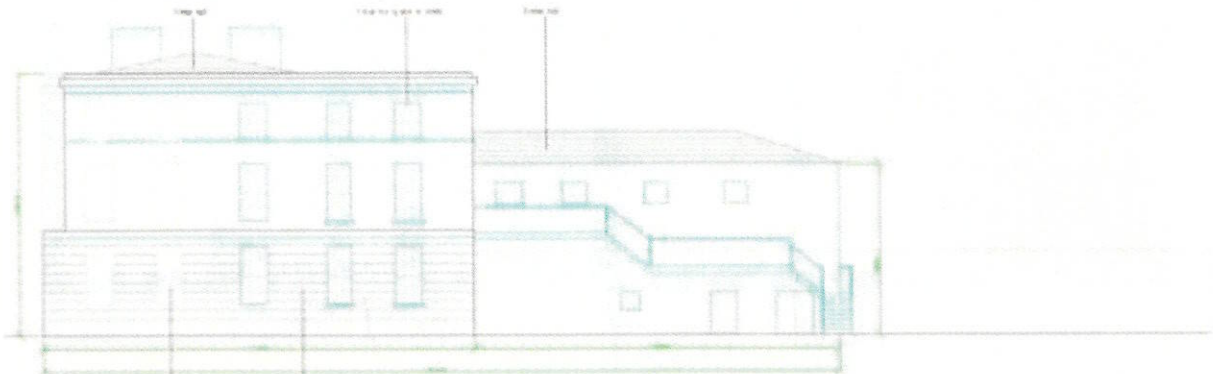
Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



Basement floor plan



Front elevation



Side elevation

Sachs Hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

SURVEY DRAWINGS INCLUDED FOR ILLUSTRATIVE PURPOSES



Roof plan and site plan



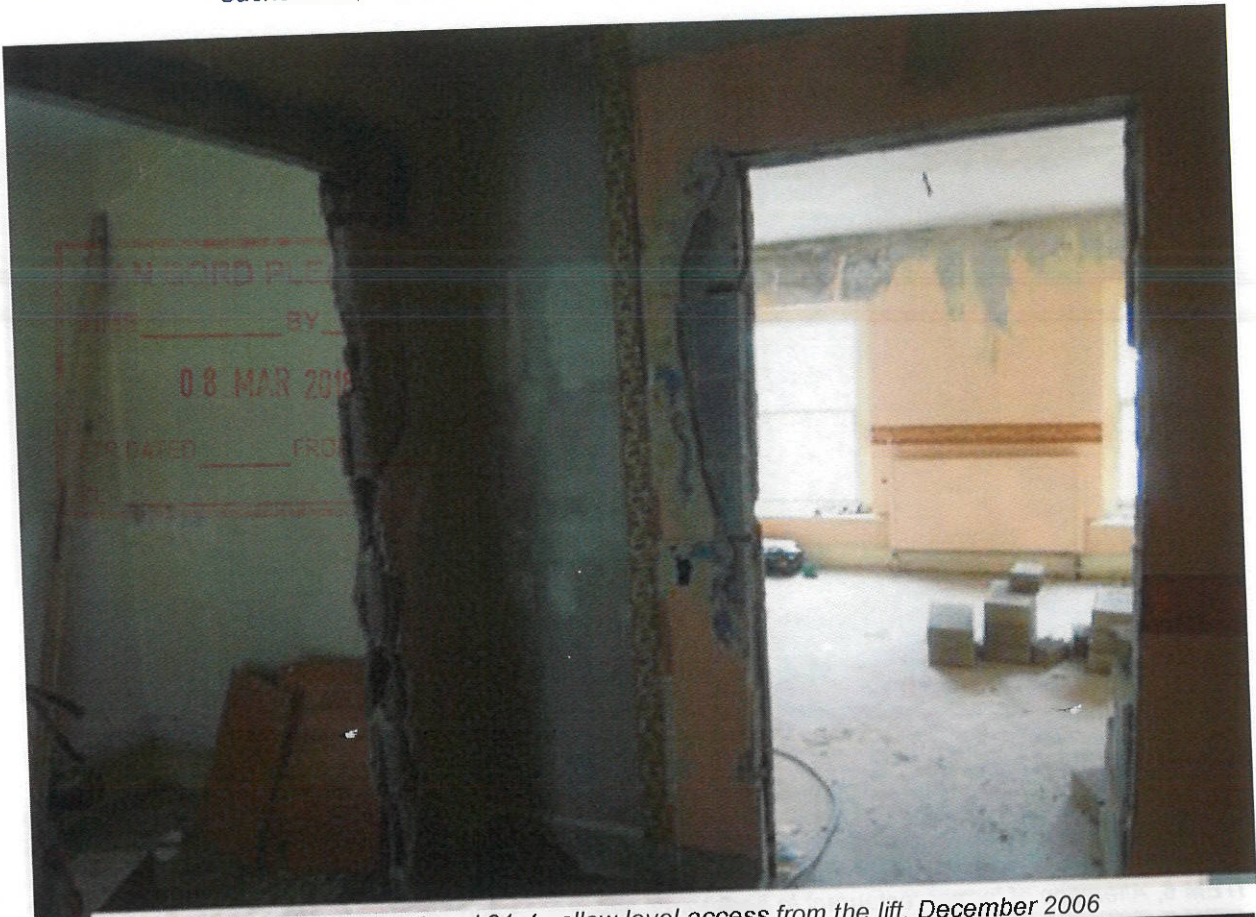
Second floor plan



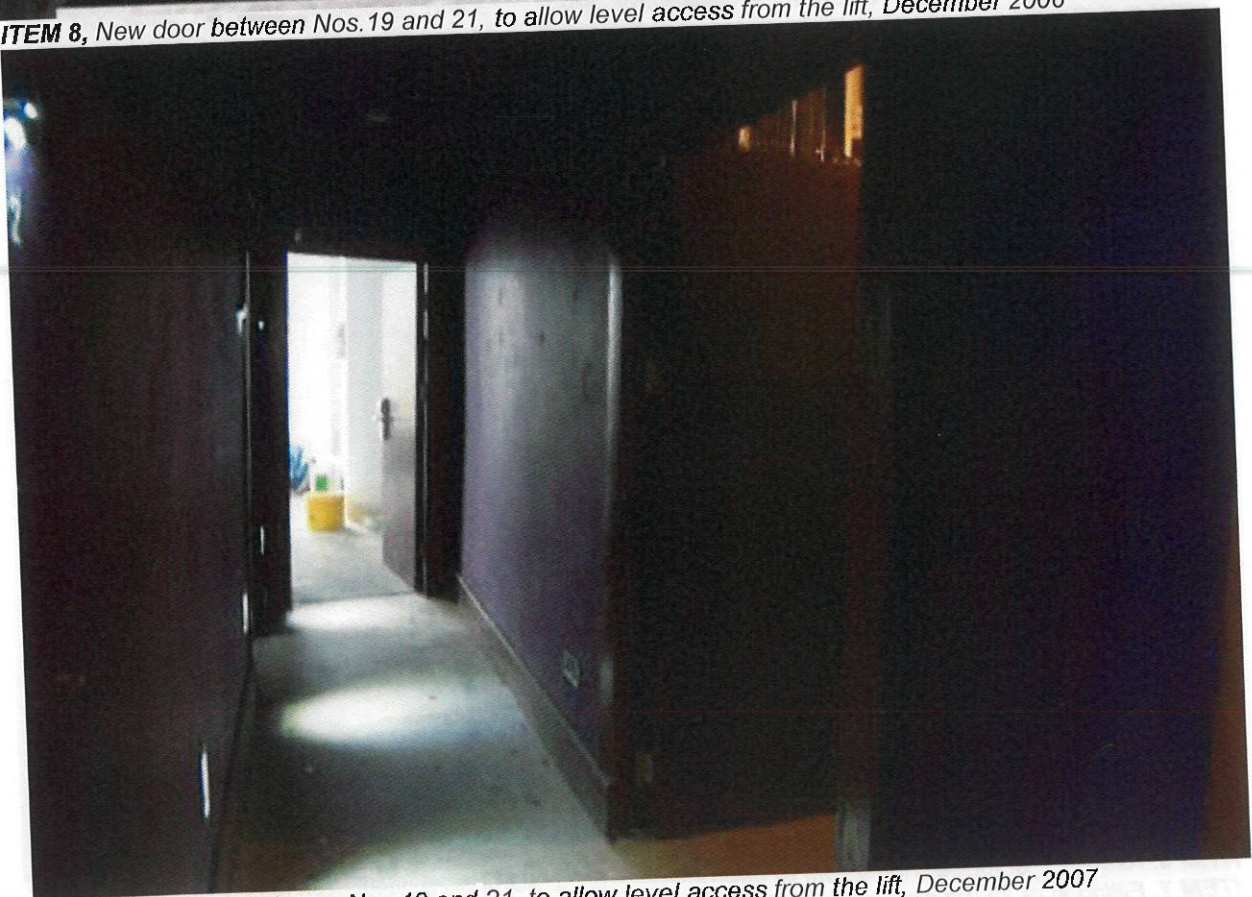
ITEM 9, New door between Nos.25 and 27, to allow level access from the lift, December 2006



ITEM 9, New door between Nos.25 and 27, to allow level access from the lift, December 2007



ITEM 8, New door between Nos.19 and 21, to allow level access from the lift, December 2006



ITEM 8, New door between Nos.19 and 21, to allow level access from the lift, December 2007



ITEM 6, Alteration of former restaurant to bedrooms, Nos.21, 23 and 25, view from No.23, June 2005, and
ITEM 7, Filling in of 1970s niches above chimney breast, Nos.21 and 23, June 2005, note modern materials



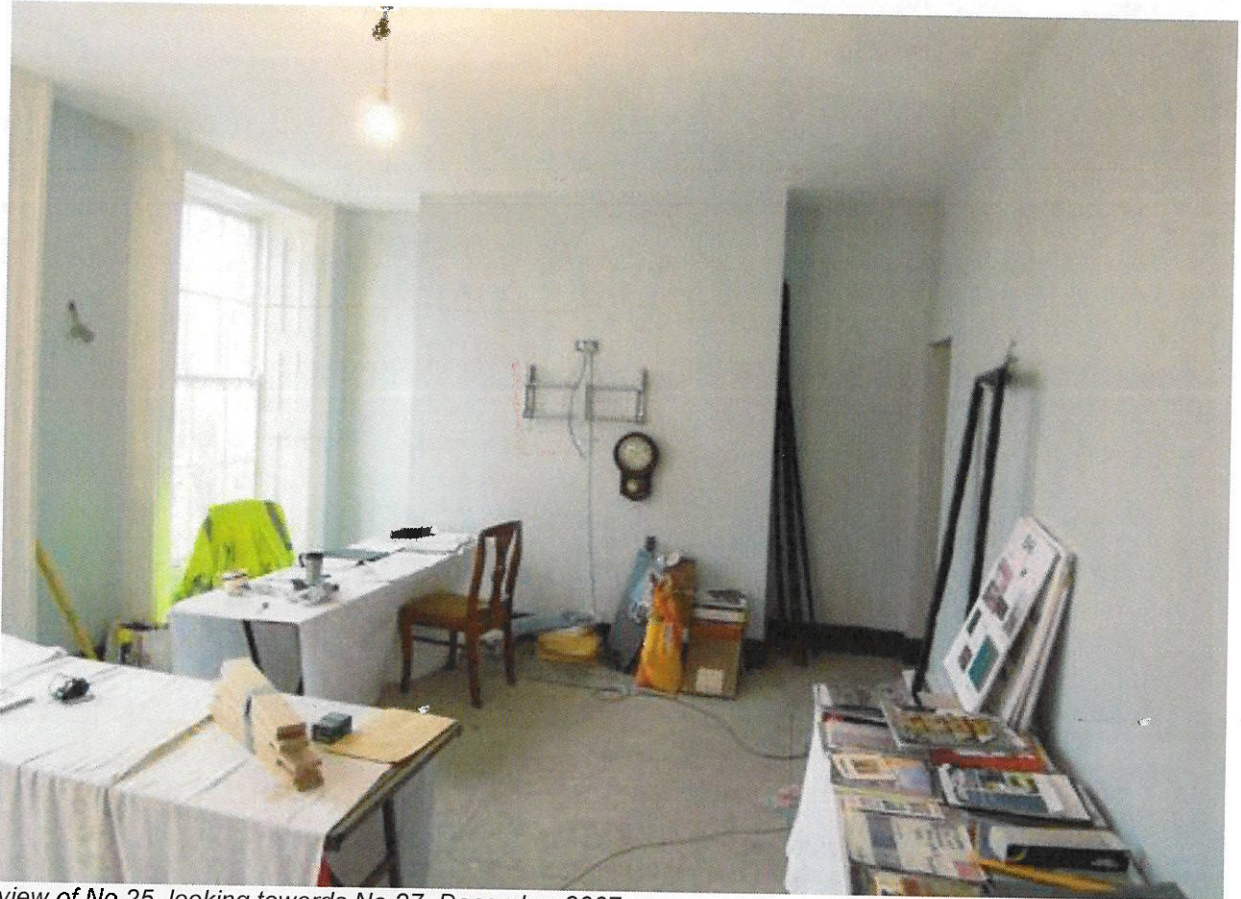
ITEM 6, Alteration of former restaurant to bedrooms, Nos.21, 23 and 25, view from No.23, December 2007, and
ITEM 7, Filling in of 1970s niches above chimney breast between Nos.21 and 23, December 2007



ITEM 6, Alteration of former restaurant to bedrooms, Nos.21, 23 and 25, view from No.21, June 2005, and **ITEM 7**, Filling in of 1970s niches above chimney breast, Nos.21 and 23, June 2005, note modern materials



ITEM 6, Alteration of former restaurant to bedrooms, Nos.21, 23 and 25, view from No.21, December 2007, and **ITEM 7**, Filling in of 1970s niches above chimney breast between Nos.21 and 23, December 2007



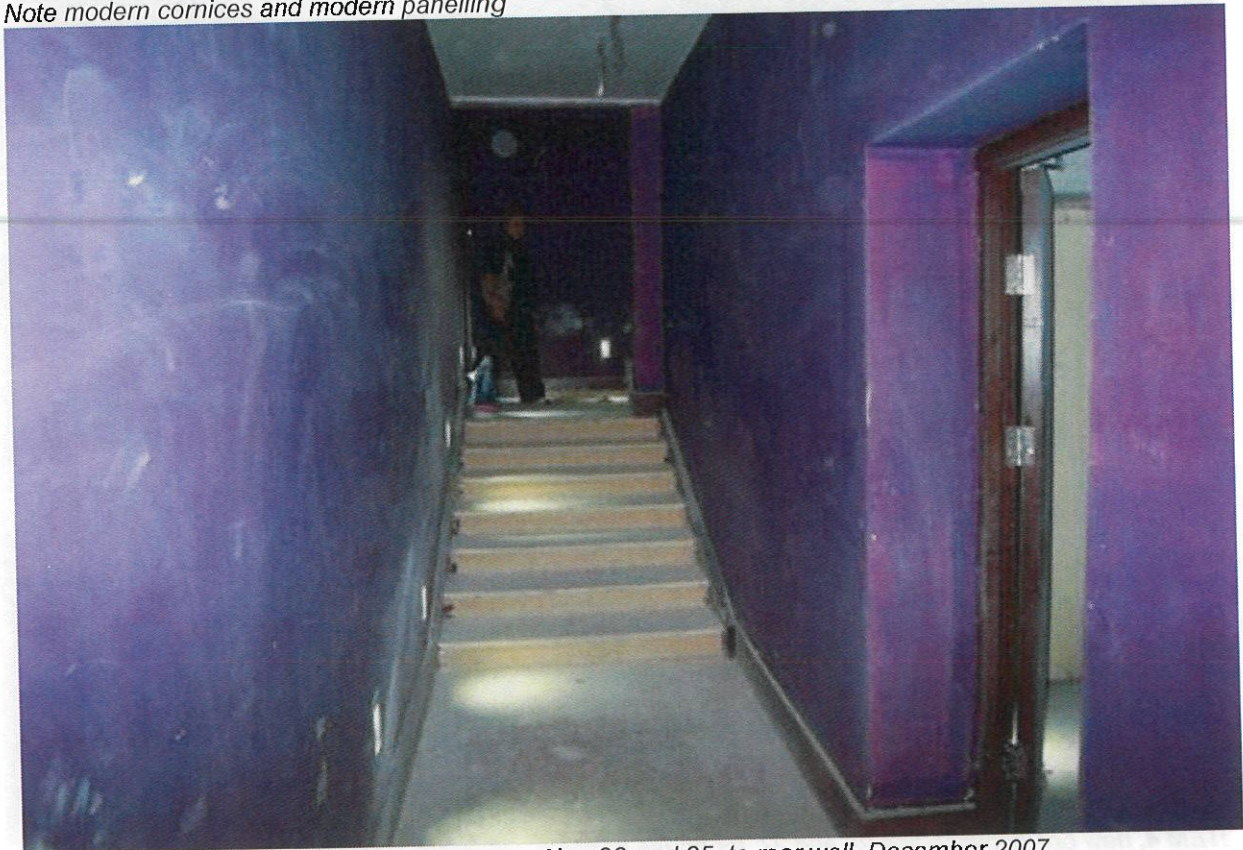
view of No.25, looking towards No.27, December 2007



view of No.25, looking towards No.23, December 2007



ITEM 5, Relocation of modern stairs between Nos.23 and 25, to rear wall, June 2005, and
ITEM 6, Alteration of former restaurant to bedrooms, Nos.21, 23 and 25, view from 23 to 25 June 2005
Note modern cornices and modern panelling



ITEM 5, Relocation of modern stairs between Nos.23 and 25, to rear wall, December 2007



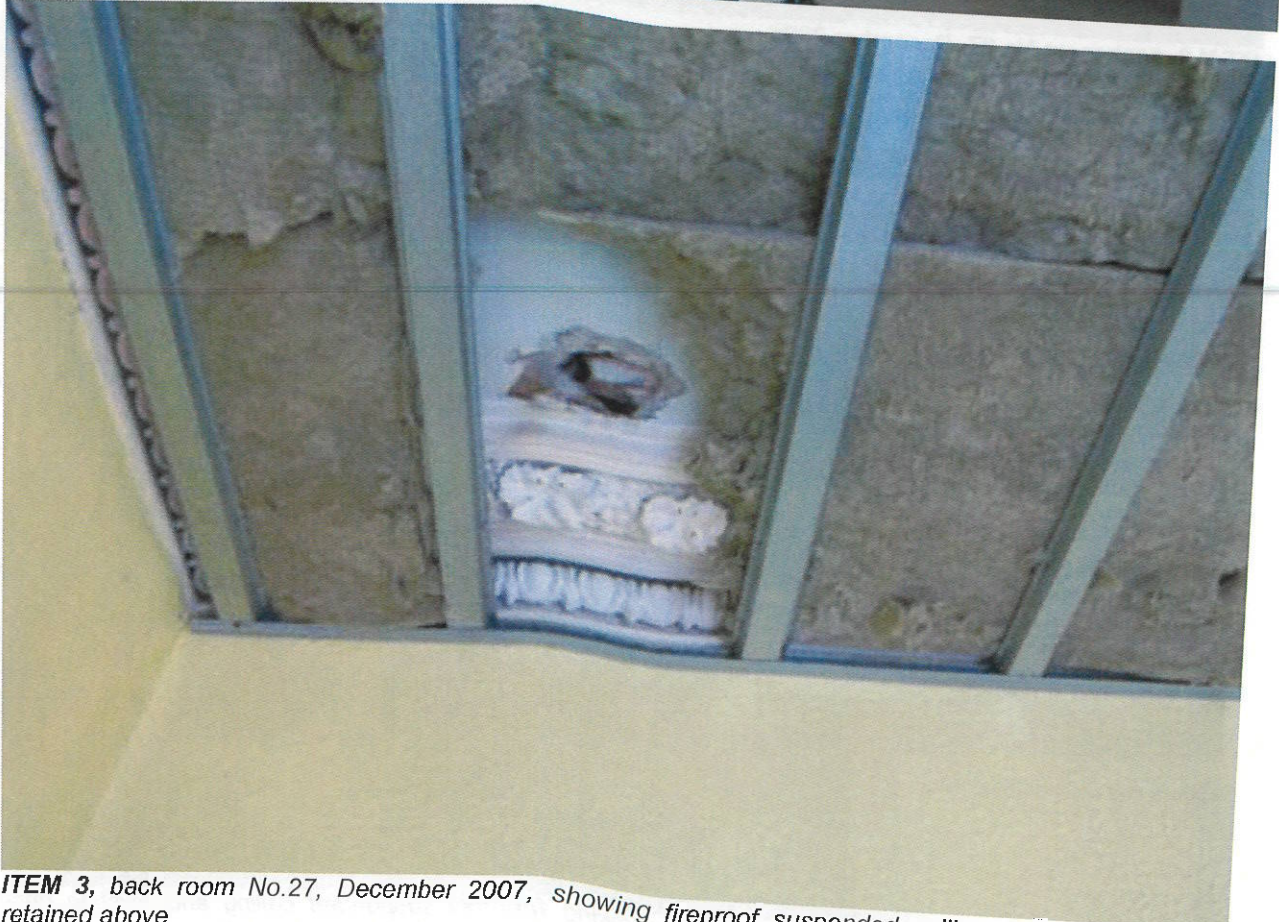
ITEM 4, new ope between nos.25 and 27, for house keeping, December 2006, note wall condition



ITEM 4, new ope between nos.25 and 27, for house keeping, December 2007, left hand side



ITEM 3, back room No.29, December 2006



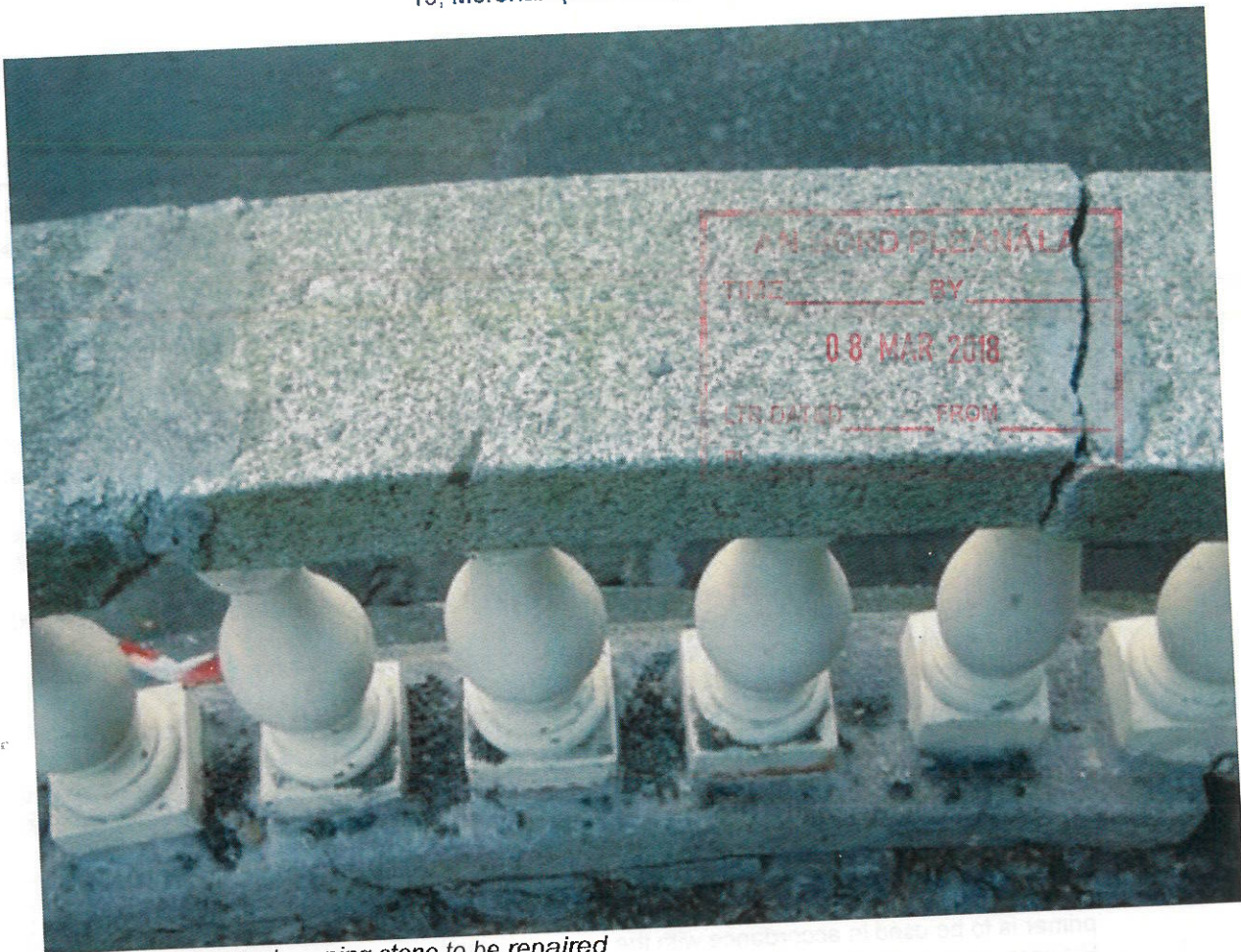
ITEM 3, back room No.27, December 2007, showing fireproof suspended ceiling and existing details retained above



ITEM 3, back room No.27, December 2006



ITEM 3, back room No.27, December 2007, showing fireproof suspended ceiling and existing details retained above. Note pre-existing condition of ceiling and line of 1970s suspended ceiling.



example of damaged capping stone to be repaired

SPECIFICATION FOR MORTAR FOR REPLACEMENT BEDDING:

Mortars for replacing missing or friable bedding, or for new bedding, shall comprise one part approved hydraulic lime (moderately hydraulic lime) to three parts approved sand (or subject to inspection a one : two : nine) and shall be supplied pre-mixed in accordance with the manufacturer's recommendations. Approved suppliers would include Messrs Narrow Water Lime Services, St. Astier and Telling Lime Products.

It is imperative that the sands, water content etc. are carefully monitored to ensure that air is able to permeate the mixture to achieve carbonation of the mortar. In particular, the Contractor shall ensure that the sands do not contain any material that would tend to retain water or slow the natural drying of the mortar thus interfering with the proper carbonation of the lime. To this end, trial mixes shall be prepared at the start of the contract for the Architect's approval as to colour, carbonation etc. well before the mortar is required for use.

Only hydraulic lime from an approved source will be permitted and the Contractor will be required to submit certificates confirming that no cement has been used or added to the powder. Hydraulic lime shall be delivered in bags with the manufacture's name, the contents and use by date clearly marked on the outside. It shall be stored under similar conditions as for cement. All mixes incorporating hydraulic lime shall be placed within 30 minutes (or other time stated by the manufacturer) of water being added to the mixture, any mixes not used by that time shall be disposed of and never 'knocked up' and used in the work.

Robin Mandal

15th October 2007

GENERAL SCOPE OF WORKS:

These works are to commence from the centre of the current second series of balustrades (coming out to Morehampton Road, outside no.19 – top photograph, page 6), to include the two existing piers, the current full set of balustrades, also the missing full set of balustrades and the missing end pier, which is currently stored in the rear yard of the property. The works are to reinstate the balustrading to their earlier status, and to undertake repairs to them.

METHODOLOGY FOR THE REINSTATEMENT OF THE PLINTH, BALUSTRADING AND CAPPING STONES IN THEIR ORIGINAL LOCATIONS:

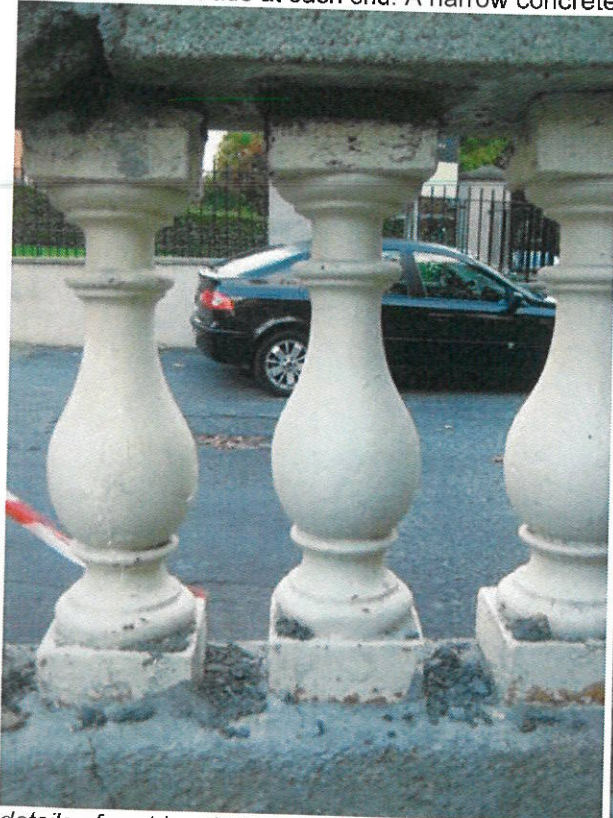
- 1 Take down one cast iron balustrade (preferably the half one illustrated on page 9) and use it to make copies – approximately 10 – to be fabricated by 'Bushy Park Ironworks' or an equal approved contractor.
- 2 Set out masonry plinth wall, in brickwork or rubble, to the line of the adjacent, and construct to form a level base for the granite base stones. Repair all structural cracks in the existing plinth wall.
- 3 Identify missing granite plinth base stones, make templates from the masonry plinth and fabricate the new stones to the profiles of the existing.
- 4 Identify missing granite capping stones, make templates from the masonry plinth and fabricate the new stones to the profiles of the existing.
- 5 Take delivery of new balustrades, plinth stones and capping stones, and store securely on the site.
- 6 Number existing plinth stones and capping stones, photograph to key, carefully take down and store securely on site. The existing granite base and capping stones are to be carefully cleaned of all loose matter and earlier bedding materials.
- 7 Number existing balustrades, photograph to key, carefully take down, separating the concrete repaired balustrades, and store securely on site. Prior to the reinstallation of the existing balustrades, the metalwork is to be wirebrushed and prepared for painting. A rustproofing primer is to be used in accordance with the manufacturers instructions.
- 8 Prepare a mortar bed base for the reinstallation of the base stones. This bedding, and the other mortar bed noted below, are to be prepared in accordance with the specification below. The base stones are to be carefully lifted into their original position and bedded down and carefully leveled to follow the original line of the existing base stones. Following the setting of the bases and plinths (minimum of seven days), the metal balustrades are to be set out prior to installation. The two granite piers (one currently in place, and one stored on site) are to be prepared and installed as the base stones.
- 9 The cast iron balustrades (old and new) are to be set in place on a mortar bed as above, on a spud or dowel. They are to be carefully leveled to form a consistent level line for the capping stones. The mortar is to be allowed to set securely.
- 10 The new and existing capping stones are to be prepared for installation. Repairs to the existing capping stones are to be carried out by a specialist stone contractor.
- 11 Set the existing and new granite capping stones on the tops of the prepared balustrades on a mortar bed as above, and allow to set.
- 12 Repoint the joints in the stonework, mortar specification as below.
- 13 Render the masonry plinth in a lime based render, and line to match existing.
- 14 Make good to areas around the works, and reinstated the narrow concrete footpath adjacent to the plinth wall.
- 15 After a suitable period, the preparation and decoration of the railings is to be completed, as outlined above.

The repair methodology outlined above should be carried out by an experienced and specialist contractor.



view of last section at no.35, with missing balustrades, showing overall balustrade to Morehampton Road

The element of the balustrade pictured above does not have an equivalent element outside no.19. The balustrade at no.19 did not form the full semi-circular sweep that is shown above. As can be seen from the photograph above, the module for the balustrading between the wide granite piers is of nine full balustrades and a half balustrade at each end. A narrow concrete footpath forms the edge to the rendered plinth.



details of cast iron balustrades outside no.19



detail of broken cast iron balustrade, to be used for new

19, Morehampton Road, Dublin 4

As stated above, the areas of balustrading that are to be reinstated are directly in front of no.19, Morehampton Road. The balustrade does extend right across the front of the buildings that form nos.19 to 37. It is in varying states of delapidation, but is generally intact. This document only deals with repair and reinstatement works to that section outside no.19. However, the fact that the corresponding section outside no.35 still exists will be useful for measuring the setting out of the curves in front of no.19.



view of corresponding second section and second pier outside no.35 (above and below)



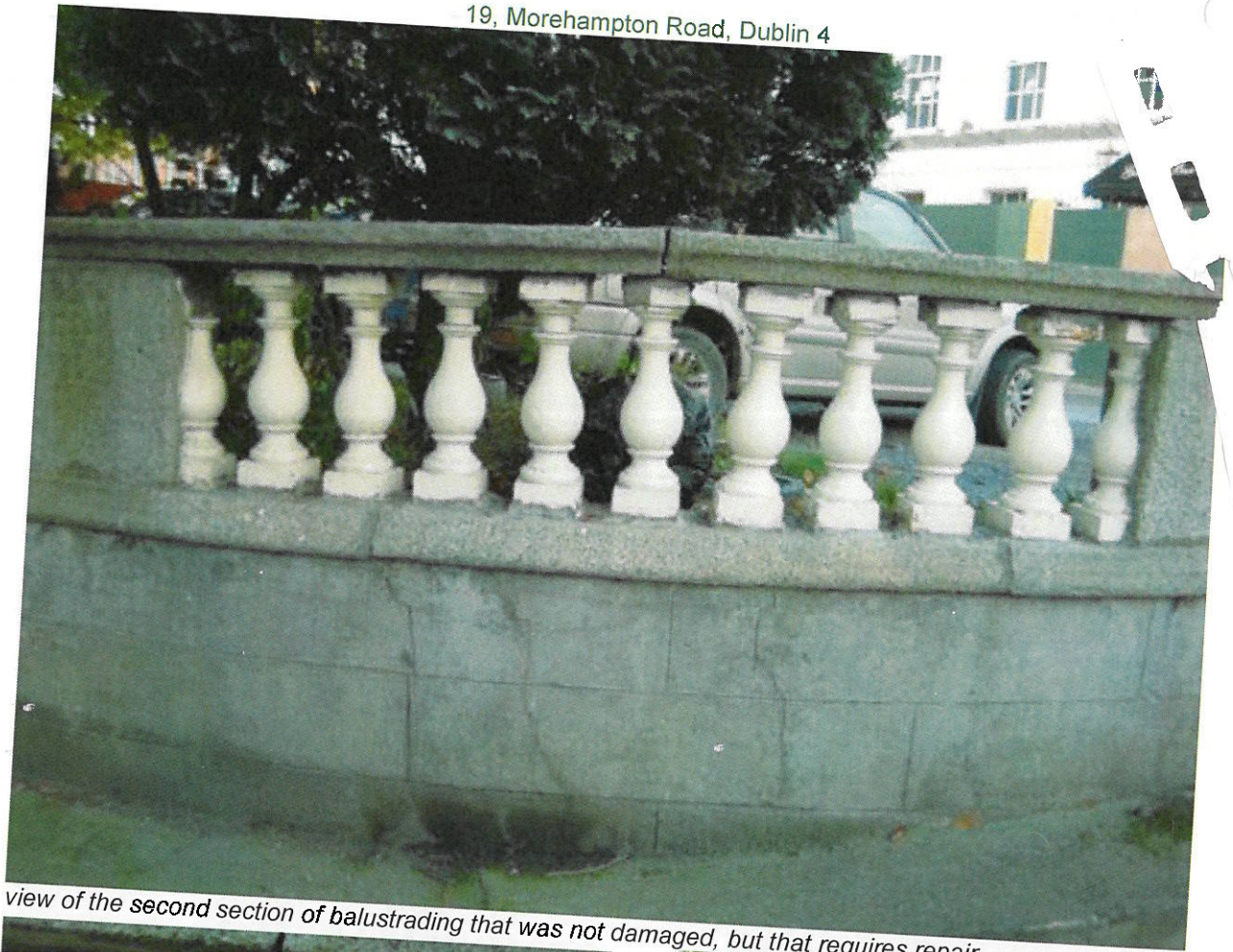
19, Morehampton Road, Dublin 4



detail of cast iron balustrades

Robin Mardal, B.Arch., M.Arch.Sc., FRIAI, RIBA, RSUA, ARBUK, Architect and Historic Building Consultant

19, Morehampton Road, Dublin 4



view of the second section of balustrading that was not damaged, but that requires repair



cast iron on the left, concrete on the right




concrete on the left, cast iron cut half on the right

14. A plan containing details for the management of waste (and, in particular, recyclable materials) within the development, including the provision of facilities for the storage, separation and collection of the waste and, in particular, recyclable materials and for the on-going operation of these facilities shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. Thereafter, the waste shall be managed in accordance with the agreed plan.

Reason: To provide for the appropriate management of waste and, in particular recyclable materials, in the interest of protecting the environment.

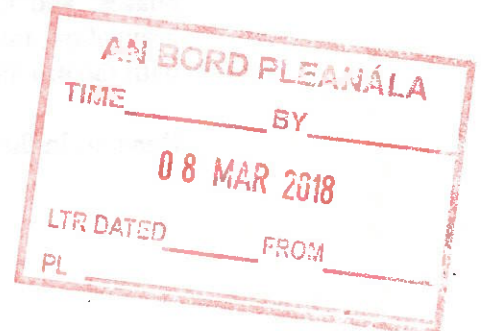
15. The developer shall pay to the planning authority a financial contribution in respect of public infrastructure and facilities benefiting development in the area of the planning authority that is provided or intended to be provided by or on behalf of the authority in accordance with the terms of the Development Contribution Scheme made under section 48 of the Planning and Development Act 2000. The contribution shall be paid prior to the commencement of development or in such phased payments as the planning authority may facilitate and shall be subject to any applicable indexation provisions of the Scheme at the time of payment. Details of the application of the terms of the Scheme shall be agreed between the planning authority and the developer or, in default of such agreement, the matter shall be referred to the Board to determine the proper application of the terms of the Scheme.

Reason: It is a requirement of the Planning and Development Act 2000 that a condition requiring a contribution in accordance with the Development Contribution Scheme made under section 48 of the Act be applied to the permission.



Member of An Bord Pleanála
duly authorised to authenticate
the seal of the Board.

Dated this 17th day of October 2011.



Detailed plans and particulars indicating sound-proofing or other measures to ensure compliance with this condition shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. An acoustical analysis shall be included with this submission to the planning authority.

Reason: In order to protect the amenities of residential property in the vicinity having particular regard to the nuisance potential of low frequency sound emissions during night-time hours.

10. All service cables associated with the proposed development (such as electrical, telecommunications and communal television) shall be located underground. Ducting shall be provided by the developer to facilitate the provision of broadband infrastructure within the proposed development. All existing over ground cables shall be relocated underground as part of the site development works.

Reason: In the interests of visual and residential amenity.

11. Details of any lighting to the building and access way, which shall be such as to minimise interference to adjoining residential property, shall be submitted to and agreed in writing with the planning authority prior to commencement of development.

Reason: In order to protect the amenities of residential property in the vicinity.

12. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This plan shall provide details of intended construction practice for the development, including hours of working, noise management measures and off-site disposal of construction/demolition waste.

Reason: In the interests of public safety and residential amenity.

13. Construction and demolition waste shall be managed in accordance with a construction waste and demolition management plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This plan shall be prepared in accordance with the "Best Practice Guidelines on the Preparation of Waste Management Plans for Construction and Demolition Projects", published by the Department of the Environment, Heritage and Local Government in July 2006. The plan shall include details of waste to be generated during site clearance and construction phases, and details of the methods and locations to be employed for the prevention, minimisation, recovery and disposal of this material in accordance with the provision of the Waste Management Plan for the Dublin Region.

Reason: In the interests of sustainable waste management.

B

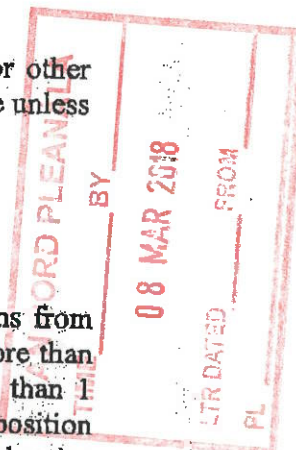
7. Prior to the opening of the development, a Mobility Management Strategy shall be submitted to and agreed in writing with the planning authority. This shall provide for incentives to encourage the use of public transport, cycling, walking and car pooling by staff employed in the development and to reduce and regulate the extent of staff parking. The mobility strategy shall be prepared and implemented by the management company for all units within the development. Details to be agreed with the planning authority shall include the provision of centralised facilities within the development for bicycle parking, shower and changing facilities associated with the policies set out in the strategy. In this regard, parking on the site shall be available for visitors with the exception of three designated staff spaces.

Reason: In the interest of encouraging the use of sustainable modes of transport.

8. No signage, advertising structures/advertisements, security shutters, or other projecting elements, including flagpoles, shall be erected within the site unless authorised by a further grant of planning permission.

Reason: To protect the visual amenities of the area.

9. (a) Amplified music or other specific entertainment noise emissions from the premises shall not exceed the background noise level by more than 3 dB(A) during the period 08.00 to 22.00 hours and by more than 1 dB(A) at any other time, when measured at any external position adjoining an occupied dwelling in the vicinity. The background noise level shall be taken as L_{90} and the specific noise shall be measured at $L_{Aeq,T}$.
- (b) The octave band centre frequencies of noise emissions at 63 Hz and at 125 Hz shall be the subject to the same locational and decibel exceedence criteria in relation to background noise levels as set out in (a) above. The background noise levels shall be measured at $L_{Aeq,T}$.
- (c) The background noise levels shall be measured in the absence of the specific noise, on days and at times when the specific noise source would normally be operating; either
- (i) during a temporary shutdown of the specific noise source, or
 - (ii) during a period immediately before or after the specific noise source operates.
- (d) When measuring the specific noise, the time (T) shall be any five minute period during which the sound emission from the premises is at its maximum level.
- (e) Any measuring instrument shall be precision grade.



S

- (c) The glazing to the north of the proposed dining room shall be fitted with either opaque glass or permanent baffles such that no overlooking of the private amenity space to the north shall be possible.

Revised drawings showing compliance with this condition, including showing turning areas for service vehicles within the site area, and not encroaching on the shared right of way, shall be submitted to and agreed in writing with the planning authority prior to commencement of development.

Reason: In the interest of amenity of adjoining property and traffic safety.

3. All work to be carried out under the direction of a suitably qualified conservation architect.

Reason: In order to conserve the architectural heritage of the site and in the interest of proper planning and sustainable development.

4. Details, including samples, of the materials, colours and textures of all the external finishes to the proposed development shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development.

Reason: In the interest of the visual amenities of the area.

5. The developer shall facilitate the preservation, recording and protection of archaeological materials or features that may exist within the site. In this regard, the developer shall -

- (a) notify the planning authority in writing at least four weeks prior to the commencement of any site operation (including hydrological and geotechnical investigations) relating to the proposed development,
- (b) employ a suitably-qualified archaeologist who shall monitor all site investigations and other excavation works, and
- (c) provide arrangements, acceptable to the planning authority, for the recording and for the removal of any archaeological material which the authority considers appropriate to remove.

In default of agreement on any of these requirements, the matter shall be referred to An Bord Pleanála for determination.

Reason: In order to conserve the archaeological heritage of the site and to secure the preservation and protection of any remains that may exist within the site.

6. Water supply and drainage arrangements, including the attenuation and disposal of surface water, shall comply with the requirements of the planning authority for such works and services.

Reason: In the interest of public health.

REASONS AND CONSIDERATIONS

Having regard to the established use on the site, the size of the site and the pattern of development in the area, it is considered that, subject to compliance with the conditions set out below, the proposed development would not seriously injure the amenities of the area or of property in the vicinity, would be acceptable in terms of traffic safety and convenience, would not materially or adversely impact on the protected structures and would, therefore, be in accordance with the proper planning and sustainable development of the area.

In deciding not to accept the Inspector's recommendation to refuse permission, the Board considered that, subject to the conditions attached, the proposed development would be acceptable in terms of traffic safety and convenience and would not result in overlooking and loss of privacy to the residential properties to the north-west and having regard to the design did not concur with the Inspector's assessment that the proposed development would have a detrimental impact on the character and setting of the protected structures on the site or would seriously injure the visual amenities of the architectural and historical interest of the area.

CONDITIONS

1. The development shall be carried out and completed in accordance with the plans and particulars lodged with the application, as amended by the further plans and particulars submitted the 10th day of March, 2011, except as may otherwise be required in order to comply with the following conditions. Where such conditions require details to be agreed with the planning authority, the developer shall agree such details in writing with the planning authority prior to commencement of development and the development shall be carried out and completed in accordance with the agreed particulars.

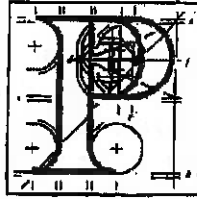
Reason: In the interest of clarity.

2. The proposed development shall be amended as follows:
 - (a) The service yard to the rear shall be enlarged such that no reversing of vehicles takes place on the shared lane/right of way to the north of the site. In this regard, the service yard shall be extended to the south by the omission of three number car parking spaces and the relocation of the service duct. At first floor level the bedroom/en-suite area at the north-easterly corner shall be omitted to achieve adequate height and the service duct relocated.
 - (b) The laneway to the rear of the site shall be increased in width from 4.8 metres to 5.5 metres

| | | | |
|------------------|----|-------------|-----------|
| AN BORD PLEANÁLA | BY | 08 MAR 2018 | FROM |
| TIME | | | LTR DATED |
| | | | PL |

An Bord Pleanála

RPIR



PLANNING AND DEVELOPMENT ACTS 2000 TO 2011

Dublin City

Planning Register Reference Number: 3242/10

An Bord Pleanála Reference Number: PL 29S.238868

APPEAL by Genport Limited care of Robin Mandal of The Meeting Hall, 73 George's Avenue, Blackrock, County Dublin against the decision made on the 6th day of April, 2011 by Dublin City Council to refuse permission.

PROPOSED DEVELOPMENT: Demolition of existing one, two and three-storey function rooms, kitchen and service rooms (area 1,767 square metres) to the rear of Hampton Hotel, numbers 19, 21, 23, 25, 27, 29, Morehampton Road, Dublin, protected structures; internal alterations to protected structures and the construction of a 5,650 square metres extension (3,422 square metres above ground and 2,208 square metres basement) to include lobby, 20 bedrooms, function room, gymnasium, restaurant, roof terraces and gardens, roof solar panels and all associated facilities, with one, two and three-storey elements over basement to rear of existing hotel, 16 car parking spaces to replace existing spaces, 30 bicycle spaces, Electricity Supply Board substation, landscaping and all other associated works above and below ground to facilitate the development at 19-29 Morehampton Road, Dublin.

DECISION

GRANT permission for the above proposed development in accordance with the said plans and particulars based on the reasons and considerations under and subject to the conditions set out below.

MATTERS CONSIDERED

In making its decision, the Board had regard to those matters to which, by virtue of the Planning and Development Acts and Regulations made thereunder, it was required to have regard. Such matters included any submissions and observations received by it in accordance with statutory provisions.

S

Planning and Development Department
Planning Registry & Decisions
Ground Floor, Block 4
Civic Offices
Wood Quay
Dublin 8

Tel: +353 1 222 2149
Fax: +353 1 222 2271

Website: www.dublincity.ie

10-Feb-2016

Robin Mandal Architects
Meeting Hall
73, Georges Avenue
Blackrock
Co. Dublin

| | |
|--------------------|-------------|
| Application Number | 3242/10/x1 |
| Registration Date | 20-Jan-2016 |
| Decision Number | P0425 |
| Decision Date | 04-Feb-2016 |

**Re: Application for Extension of Duration of Permission for premises at
Hampton Hotel, 19-29, Morehampton Road, Dublin 4.**

Dear Sir/Madam,

I wish to advise you that your application for an extension of duration of permission for plan number 3242/10/x1 has been granted until 02-Dec-2021, within which time the works must be completed.

The Planning Officer recommends that an extension of the duration of the permission be granted in this instance, this extension to be until 02-Dec-2021.

Signed on behalf of Dublin City Council

For Assistant Chief Executive



Dublin City Council, Fire Prevention Section
Fire Brigade Headquarters, 165-169 Townsend Street, Dublin 2, Ireland

Comhairle Cathrach Bhaile Átha Cliath, Rannóg um Choiscitheacht Dóiteáin
Ceanncheathrú Briogáide Dóiteáin, 165-169 Sráid Chnoc na Lobhar, B.Á.C. 2, Éire

T. 01 6734000 F. 01 6734077 E-mail. fire@dublincity.ie www.dublincity.ie



BUILDING CONTROL ACTS, 1990 AND 2007 / AN TACHT UM RIALÚ FOIRGNÍOCHTA, 1990 AGUS 2007

DEIMHNIÚ UM THABHAIRT CHUN RIALTACHTA

REGULARISATION CERTIFICATE

REGULARISATION CERTIFICATE NO.: FSC3224/17/REG

TO: KNAPTON FIRE SAFETY CONSULTANTS,
ADDRESS: 76 UPPER GEORGES STREET,
DUN LAOGHAIRE,
CO. DUBLIN.
FAO: MARTIN SHERIDAN

Application for a Regularisation Certificate (Reg. Ref. No.: FA/17/1559/REG)

FOR: MATERIAL ALTERATION / EXTENSION TO A BUILDING: THE RE-CONFIGURATION OF THE EXISTING LOWER GROUND FLOOR FROM PREVIOUS NIGHTCLUB TO 13 INTO. HOTEL BEDROOMS. THE RE-CONFIGURATION OF THE EXISTING GROUND FLOOR FROM PREVIOUS BANQUET ROOM INTO 2 NO. HOTEL BEDROOMS. THE RE-CONFIGURATION AT FIRST FLOOR LEVEL OF THE DONNYBROOK ROOM, KITCHEN, ADDITIONAL PROTECTED CORRIDOR AND FD30S DOOR TO ADDITIONAL LINK CORRIDOR.

AT: HAMPTON HOTEL, 19-29 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4.

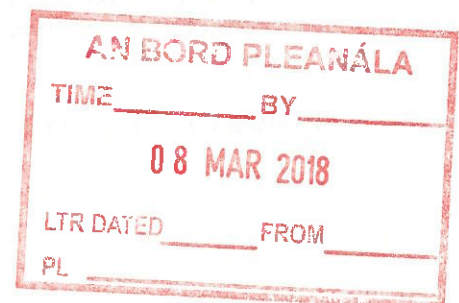
Dublin City Council hereby certify that in its opinion, the works as constructed in accordance with plans, documents and information submitted, comply with the requirements of Part B of the Second Schedule to the Building Regulations 1997 to 2013. In considering the application, no assessment has been made as to whether the works or building will comply or is in compliance, as appropriate, with the other requirements of the Second Schedule to the Building Regulations 1997 to 2013. This certificate is **granted subject to compliance with the following condition(s)** as set out on the Schedule attached hereto.

Signed on behalf of Dublin City Council:

Edel Dunne

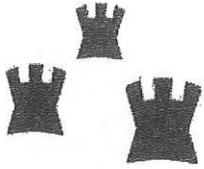
Senior Staff Officer

Dated this 25th day of OCTOBER 2017



Note: An applicant who is dissatisfied with a decision of a Building Control Authority may appeal to An Bord Pleanála. An appeal may be made within a period of one month beginning on the day of the decision of the Building Control Authority on an application.

Nóta: Is féidir le hiaratasóir atá míshásta le cinneadh Údarás Rialaithe Foirgníochta achomharc a dhéanamh leis an mBord Pleanála. Is féidir achomharc a dhéanamh laistigh de thréimhse míosa ón lá a ndéanfaidh an tÚdarás Rialaithe Foirgníochta cinneadh faoin iarratas.



Dublin City Council, Fire Prevention Section
Fire Brigade Headquarters, 165-169 Townsend Street, Dublin 2, Ireland

Comhairle Cathrach Bhaile Átha Cliath, Rannóg um Choisctheacht Dóiteáin
Ceanncheathrú Briogáide Dóiteáin, 165-169 Sráid Chnoc na Lobhar, B.Á.C. 2, Éire

T. 01 6734000 F. 01 6734077 E-mail. fire@dublincity.ie www.dublincity.ie



BUILDING CONTROL ACTS, 1990 AND 2007 / AN TACHT UM RIALÚ FOIRGNÍOCHTA, 1990 AGUS 2007

DEIMHNIÚ UM THABHAIRT CHUN RIALTACHTA

REGULARISATION CERTIFICATE

REGULARISATION CERTIFICATE NO.: FSC3224/17/REG

Reg. Ref. No.: FA/17/1559/REG

LOCATION: HAMPTON HOTEL, 19-29 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4.

SCHEDULE OF CONDITIONS FOR REGULARISATION CERTIFICATE

Condition 1:

The relevant works or building, constructed in accordance with the complete and certified set of Drawings must be supported by a Certificate of Compliance by reference to those drawings in respect of the relevant works with the Requirements of Part B of the Second Schedule to the Building Regulations 1997 to 2013.

Reason:

To ensure that the building as constructed, complies with Part B of the Building Regulations 1997 to 2013.

Condition 2:

Provide an additional escape door and external escape stairway on North West corner of Donnybrook Suite, first floor plan area. The door and stair to have a minimum clear width of 1100 millimetres.

Reason:

To ensure that the building as constructed, complies with Part B of the Building Regulations 1997 to 2013.

Condition 3:

Provide additional emergency lighting directional signage for alternative means of escape leading up stairs flight from ground floor to first floor from bedrooms 100, 101 and 102.

Reason:

To ensure that the building as constructed, complies with Part B of the Building Regulations 1997 to 2013.

Continued over...

Note: An applicant who is dissatisfied with a decision of a Building Control Authority may appeal to An Bord Pleanála. An appeal may be made within a period of one month beginning on the day of the decision of the Building Control Authority on an application.

Nóta: Is féidir le hiarratasóir atá míshásta le cinneadh Údaráis Rialaithe Foirgníochta achomharc a dhéanamh leis an mBord Pleanála. Is féidir achomharc a dhéanamh laistigh de thréimhse míosa ón lá a ndéanfaidh an tÚdarás Rialaithe Foirgníochta cinneadh faoin iarratas.



Dublin City Council, Fire Prevention Section
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BUILDING CONTROL ACTS, 1990 AND 2007 / AN TACHT UM RIALÚ FOIRGNÍOCHTA, 1990 AGUS 2007

DEIMHNIÚ UM THABHAIRT CHUN RIALTACHTA

REGULARISATION CERTIFICATE

REGULARISATION CERTIFICATE NO.: FSC3224/17/REG

Reg. Ref. No.: FA/17/1559/REG

LOCATION: HAMPTON HOTEL, 19-29 MOREHAMPTON ROAD, DONNYBROOK, DUBLIN 4.

SCHEDULE OF CONDITIONS FOR REGULARISATION CERTIFICATE

...Continued

Condition 4:

Provide wall signage at eye level in large red lettering on white background to inform residents of escape from bedrooms 100, 101 and 102 of alternative means of escape up flight of stairs to first floor escape. This signage to be located on stairs wall, ground floor landing area so that it is immediately apparent and facing residents leaving their rooms.

Reason:

To ensure that the building as constructed, complies with Part B of the Building Regulations 1997 to 2013.

Condition 5:

All fire safety signs including Exit signs and markings to comply with Chapter 1 of Part 7 of Statutory Instrument No. 299 of 2007 (SI No. 299 of 2007) "Safety Signs at Places of Work" as amended by the Safety, Health and Welfare at Work (General Application Amendment) Regulations 2012 (SI No. 445 of 2012) relating to safety signs at places of work.

Reason:

To ensure that the building as constructed, complies with Part B of the Building Regulations 1997 to 2013.

End.



Note: An applicant who is dissatisfied with a decision of a Building Control Authority may appeal to An Bord Pleanála. An appeal may be made within a period of one month beginning on the day of the decision of the Building Control Authority on an application.

Nóta: Is féidir le hiarratasóir atá míshásta le cinneadh Údaráis Rialaithe Foirgníochta achomharc a dhéanamh leis an mBord Pleanála. Is féidir achomharc a dhéanamh laistigh de thréimhse míosa ón lá a ndéanfaidh an tÚdarás Rialaithe Foirgníochta cinneadh faoin iarratas.

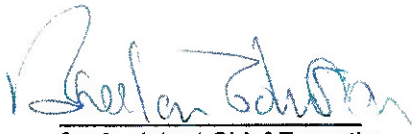
Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

Clárlann / Cinntí Pleanála
An Roinn Pleanála agus Forbartha, Clárlann / Cinntí
Oifigí na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8
T: (01) 672 2149 / F: (01) 670 7861

Date 13-Feb-2018

It is considered that the above works as summarised below comprise development which would not come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 (as amended) as the proposed development would materially affect the character of the Protected Structure and therefore would require planning permission:

Signed on behalf of Dublin City Council


for Assistant Chief Executive

Date: 13-Feb-2018

subject to the conditions specified in Schedule 1,

SCHEDULE 1 CONDITIONS AND REASONS

It is considered that the above works as summarised below comprise development which would come within the meaning of Section 4(1)(h) and Section 57 of the Planning and Development Act 2000 (as amended) and would not materially affect the character of the Protected Structure and therefore would NOT require planning permission when carried out in accordance with the Architectural Heritage Protection Guidelines for Planning Authorities (2011) and in line with best conservation practice, under the supervision of an appropriately qualified architect.

and to **REFUSE EXEMPTION** for :

. Basement Level:

- a) Reinstatement of rooms in historic structure as 3 no. bedrooms.
- b) Conversion of single-storey 20th/21st Century former night club and service areas to 10 no. bedrooms.
- c) Reinstatement of windows and insertion of doors in 6 no. former open to front facades of numbers 25, 27 and 29 Morehampton Road.

2. Ground Floor Level:

- a) Relocation of existing fire escape, including partial roofing of the route.
- b) Modification to first flight of escape stairs from the function room and
- c) Reinstatement of the sub-division of no. 29 Morehampton Road as 2 no. bedrooms.

3. First Floor Level: Construction of a 1.2 m wide corridor across the rear of no. 25 Morehampton Road.

4. External Landscaping: The landscaping of 4 no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

for the reasons set out in Schedule 2

SCHEDULE 2 REASONS

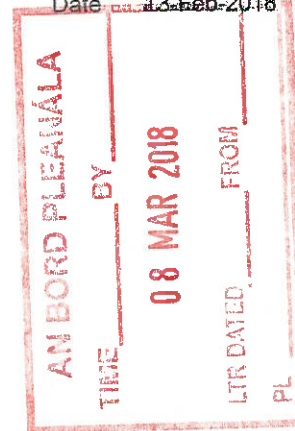


Comhairle Cathrach
Baile Átha Cliath
Dublin City Council

Planning Registry & Decisions, Planning Department
Civic Offices, Wood Quay, Dublin 8

Clárann / Cinní Pleanála
An Roinn Pleanála agus Forbartha, Clárann / Cinní
Oifigi na Cathrach, An Ché Adhmaid, Baile Átha Cliath 8
T: (01) 672 2149 / F: (01) 670 7861

Date: 13-Feb-2018



Robin Mandal Architects
The Courtyard
40, Main Street
Blackrock
Co. Dublin

Application No. 0375/17
Registration Date 22-Jan-2018
Decision Date 09-Feb-2018
Decision Order No P1416
Location Hampton Hotel, 19-29, Morehampton Road, Donnybrook, Dublin 4
Proposal EXPP:PROTECTED STRUCTURE:

1. Basement Level:

- a) Reinstatement of rooms in historic as 3 no. bedrooms;
- b) Conversion of single-storey 20th/21st Century former night club and service areas to 10 no. bedrooms;
- c) Reinstatement of windows and insertion of doors in 6 no. former opes to front facades of numbers 25, 27 and 29 Morehampton Road and
- d) Insertion of 5 no. doors and 4 no. windows into the rear facade of 20th/ 21st Century single-storey structure.

2. Ground Floor level:

- a) Relocation of existing fire escape, including partial roofing of the route,
- b) Modification to first flight of escape stairs from the function room and
- c) Reinstatement of the sub-division of no. 29 Morehampton Road as 2 no. bedrooms.

3. First Floor Level: Construction of a 1.2 m wide corridor across the rear of no. 25 Morehampton Road, and

4. External Landscaping: The landscaping of 4 no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.

Applicant

Would the above be considered exempted development?
Genport Limited, c/o PCL Halpenny Solicitors

Dear Sir/Madam

With reference to the above proposal submitted by you, you are hereby notified that the Planning Authority in pursuance of the powers conferred on it by the Planning & Development Acts 2000 (as amended) has decided to **GRANT EXEMPTION** for:

(1) Basement Level:

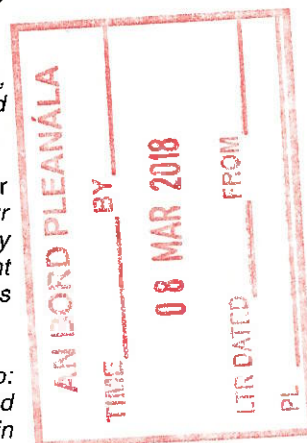
(d) Insertion of 5 no. doors and 4 no. windows into the rear facade of 20th/ 21st Century single-storey structure.

DUBLIN CITY COUNCIL DECISION ON THE APPLICATION

| | |
|------------------|-------------|
| AN BORD PLEANÁLA | |
| TIME | BY |
| | 08 MAR 2018 |
| LTR DATED | FROM |
| PL | |

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- 1 May 2011 Further application made to McGovern J. by the parties to resolve a dispute in relation to the final wording of three provisions in the draft Lease and to resolve the Order for costs. The three provisions related to clause 2(j) (the inclusion of the word "renewals"), clause 3(b) (the insuring of the premises in joint names) and clause 10 (the wording of the personal guarantee to be the same as in the previous Lease or to include additional wording to reflect what was already the legal position under personal guarantees). The first two issues were determined in Genport's favour. The third dispute was determined in favour of Crofter, but it was not particularly strenuously contested by Genport. Arguably the disputes generated by Crofter were somewhat contrived. The costs of the proceedings were also sought by Genport and were, by and large, awarded to Genport.
- 25 May 2012 Taxation of costs concluded in the Circuit Court Landlord and Tenant application and the Appeal to the High Court, with costs of €537,291.14 being awarded to Genport. Genport (without discussion and agreement) offset costs against rental payments due between 1st May 2012 and 1st February 2013 (at the rate of €575k per annum).
- 5 July 2012 Fifth anniversary of the date that the terms of the new tenancy were fixed by the Circuit Court.
- 13 July 2017 Inspection of the Hotel by Crofter's agents: Vincent Traynor, Architect; Peter Bluett, Fire Safety Consultant Engineer; Bernard Denver and Owen Gubbins, Mechanical and Electrical Consultants.
- 22 August 2017 Email from Building Control at DCC to O'Gradys (solicitors for Crofter) saying that the matter "has been handed over to one of our inspectors" to investigate the Building Control issues and that a copy of the letter has been furnished to DCC's planning enforcement division. This is in response to the O'Gradys letter of the previous day.
- 23 August 2017 Crofter serves court documents by email and in hard copy to: info@hamptonhotel.ie (email address for Hotel reception desk) and the hard copy (received on 24 August 2017) served at main reception desk of Hotel.
- 31 August 2017 Letters served at Hotel reception desk enclosing Notice of Objection to Liquor Licence filed by O'Gradys, dated 30 August 2017.
- 10 September 2017 Report of Toal O'Muire and Robin Mandal on behalf of Genport, confirming instructions to proceed with an application to DCC for a Section 5 declaration.
- 29 September 2017 Genport submits application to DCC for a Section 5 declaration.
Genport submits application to DCC for a Fire Safety Regularisation Certificate.
- 25 October 2017 DCC grants Genport a Fire Safety Regularisation Certificate,
- 16 November 2017 Matter comes before Murphy J. Plaintiff indicates it does not intend to prosecute its claim in light of the Fire Safety Regularisation Certificate but intends to seek its costs; adjourned to 29 November 2017.

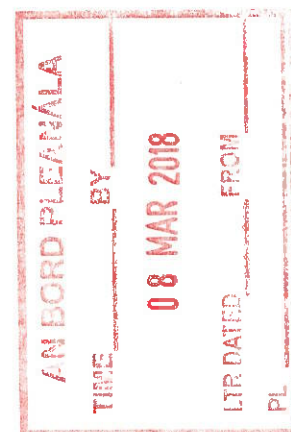


hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- 30 August 2007 *McCarthy J. gives judgment, refusing all relief.*
- 30 October 2007 *Crofter files notice of discontinuance in the proceedings in which the injunction was refused by McCarthy J. (High Court 2007 No. 6231 P)*
- 15 November 2007 *Dublin City Council issues second section 5 declaration, declaring certain works undertaken by Genport to be exempted development and other works not to be exempted development*
- 11 to 20 December 2007 *Crofter's Appeal in the Circuit Court Landlord and Tenant application came on for hearing before McGovern J. in the Commercial Court (Circuit Court 594/2002/High Court Appeal 2007 No. 134CA).*
Appeal heard over seven days, with Judgment reserved. It was agreed that McGovern J. would first be asked to determine whether or not Genport was entitled to a new Lease, and depending on that decision, a hearing could then take place as to the terms of that new Lease.
- 20 February 2008 *McGovern J. delivers reserved Judgment and declares Genport is entitled to a new Lease – i.e. Crofter's Appeal is dismissed. Case adjourned for further hearing as to the terms of the new Lease.*
- 25 April 2008 *Genport applied to McGovern J. for direction on the applicable date for assessing "open market value rent", whether that be date of expiry of old Lease – 31st July 2001 or date of Judgment determining entitlement to be granted a new Lease – 20th February 2008. McGovern J. determined that relevant date was date of expiry of old Lease.*
- 25 and 26 June 2008 *Hearing before McGovern J. as to the terms of the new Lease. On the morning of the hearing agreement was reached between the parties in relation to the rent payable and the elimination of the inventory. In Genport's mind, the elimination of the inventory and the endless disputes that a renewed inventory would generate was part and parcel of its decision to agree a high market value rent to which it would be bound for the next five years. A hearing proceeded into the other items that were in contention between the parties with Crofter essentially seeking a substantial number of restrictions or additional covenants to be incorporated into the Lease. Genport also sought that Philip Smyth not be required to give a personal guarantee. Judgment reserved.*
- 31 July 2008 *McGovern J. determined the terms of the Lease and delivered Judgment on the contested issues, and apart from requiring Philip Smyth to act as guarantor, most other aspects of the Judgment sided in favour of Genport. He directed that a new Lease be drawn up by the parties reflecting the terms of his Judgment.*
- September 2008 to April 2009 *Considerable and prolonged negotiations took place between the parties in relation to the format and wording of the new Lease. Multiple drafts were generated. Crofter continued to seek to negotiate further concessions that had not previously been raised prior to the hearing 25th and 26th June 2008. Arguably, Crofter's "negotiations" were contrived and seemed to be a stalling exercise, seeking to postpone the granting of the Lease. The issue of costs also remained to be determined.*
- 19 May 2009 *New Lease executed by Genport and Crofter.*

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- 5 July 2007 *Second of two hearings before Esmond Smyth J. to resolve issues and to finalise Order. Michael Collins, S.C. argues that a mechanism should be adopted by the Court and by the defendant to resolve any dispute concerning consent to these works, to avoid the unnecessary possibility of subsequent injunction proceedings being commenced. Crofter resists this proposal. Final Order of Circuit Court made today.*
- 6 July 2007 *P.C.L. Halpenny & Son write to Lavelle Coleman, pointing out that having regard to the position adopted by their client, Genport considers that "insofar as any of the works come within clause 2(j) of the Lease, Crofter has unreasonably withheld consent".*
- 17 July 2007 *Lavelle Coleman write again, asserting that as a bare licensee Genport has no right to carry out improvements or to seek consent to same.*
- 27 July 2007 *P.C.L. Halpenny & Son write a detailed letter dismissing this argument and pointing out precisely what Finlay Geoghegan J. held.*
- 24 July 2007 *Toal O'Muire meets with Peter Hanna in Mr. Hanna's office to discuss the Statement of Works. Mr. Hanna refuses consent to all works which contravene clause 2(j), with the exception of roof repairs and the lift. No substantive objection or complaint was made by Mr. Hanna to any of the proposed works*
- 27 July 2007 *Lavelle Coleman write seeking further inspection facilities for their architect, suggesting 30 July 2007. This date does not suit. Peter Hanna and Toal O'Muire attempt to schedule a date, before Peter Hanna goes on holiday again on or about Wednesday 1 August 2007.*
- 2 August 2007 *P.C.L. Halpenny & Son write a further letter to Lavelle Coleman addressing the absence of progress made between the two architects at the meeting of 24 July 2007 and pointing out that Crofter had constrained their architect from considering and approving any works which fell within clause 2(j)*
- 8 August 2007 *Ingrid Kirk, Architect carries out a joint inspection of the hotel with Toal O'Muire and Philip Smyth.*
- 15 August 2007 *Lavelle Coleman write demanding undertaking for works to cease and assert that the works which have been carried out were evidently undertaken by Genport during the period of the correspondence over the previous couple of months. No undertaking is forthcoming*
- 21 August 2007 *Crofter institutes proceedings against Genport (High Court 2007 No. 6231 P) and applies for an interim injunction restraining works at hotel. Motion is listed for hearing the following day, Wednesday 22 August 2007.*
- 22 August 2007 *McCarthy J. grants an interim Order restraining Genport from carrying out works, other than repairs and maintenance, and adjourns the matter for hearing to Tuesday 28 August 2007, with directions in respect of affidavits etc.*
- 28 and 29 August 2007 *Injunction application heard by McCarthy J.*

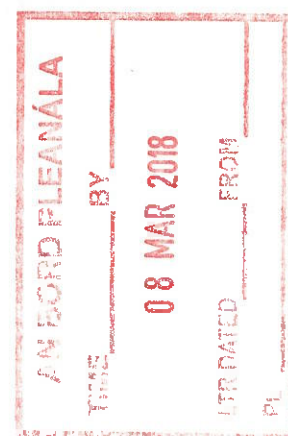


hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- 18 April 2007 *Crofter's application for a permanent injunction refused by Finlay Geoghegan J. Undertaking of 23 March 2007 discharged*
- 1 May 2007 *Further gale of rent (€141,634.06) is paid, rent paid per quarter*
- 24 May 2007 *Esmond Smyth J. delivers reserved judgment declaring Genport entitled to grant of a new lease. Matter adjourned to 21 June 2007, to enable parties to resolve issues concerning floor arrears and consequential rent reduction in respect of improvements, and format of the Order*
- 31 May 2007 *Lavelle Coleman write alleging Genport is carrying out works at the hotel and demand an inspection for Peter Hanna, Architect*
- 11 June 2007 *Peter Hanna carries out inspection with Toal O'Muire, Architect and Philip Smyth. No repairs or building works have commenced. Statement of Works dated 9 June 2007 prepared by Toal O'Muire is furnished to Peter Hanna with a request for his consideration and his client's consent*
- 15 June 2007 *P.C.L. Halpenny & Son follow up with first formal letter of request seeking landlord's consent. Same copy Statement of Works attached*
- 21 June 2007 *Michael Collins, S.C. sends draft Order to John Gleeson, S.C., which includes paragraph 8, which contains a mechanism to resolve disagreement (if any) that may arise in respect of the Statement of Works through adjudication of the Circuit Court*
- 21 June 2007 *Parties appear before Esmond Smyth J, the first of two hearings to resolve outstanding issues. Resolution mechanism is suggested by Michael Collins; Court adjourns the matter for two weeks, to enable Crofter have time to consider the proposals. (Peter Hanna is away for two weeks)*
- 25 June 2007 *P.C.L. Halpenny & Son write to Lavelle Coleman with updated Statement of Works, including more detail, drawings and copy Section 5 Declaration from Dublin City Council (dated 22 February 2007)*
- 25 June 2007 *Lavelle Coleman respond, saying that there can be no question of works going ahead, as this would render Crofter's appeal meaningless.*
- 26 June 2007 *P.C.L. Halpenny & Son criticise the approach being adopted by Lavelle Coleman. Quantity Surveyors' budget estimate of €4.3 million plus V.A.T. etc. is enclosed*
- 27 June 2007 *Lavelle Coleman defend their client's position, maintaining that the state of condition of the hotel is due to Genport's neglect for five to ten years. They also state that Finlay Geoghegan J.'s judgment decided that Genport was not entitled to carry out works while in occupation as a bare licensee under section 28 of the Act of 1980. They maintain that accordingly the question of reasonableness does not arise*
- 28 June 2007 *P.C.L. Halpenny & Son point out that this is not in fact what Finlay Geoghegan J. held, but that she simply held that an Improvement Notice (within the meaning of the Act) could not be served.*

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

- 8 July 2004 *Defence delivered in the Circuit Court proceedings*
- 12 April 2005 *Supreme Court reduces award of exemplary damages from £250,000 to £100,000 so that total damages are £150,000 plus interest credit*
- 10 May 2005 *Crofter institutes proceedings against Genport (High Court 2005 No. 1624 P) claiming possession of the hotel on grounds of non-payment of rent and insurance premia*
- June 2005 *Genport closes the hotel in order to carry out refurbishment*
- 7 June 2005 *Genport discharges arrears of rent*
- 17 June 2005 *Crofter institutes proceedings against Genport (High Court 2005 No. 2096 P) seeking an interlocutory injunction restraining Genport from carrying out any "building works" in the hotel*
- 11 July 2005 *Genport gives undertaking not to carry out any "building works" at the hotel*
- 27 September 2005 *Crofter institutes proceedings against Genport (High Court 2005 No. 3212 P) claiming possession of the hotel based on failure to pay rent and insurance premia, and failure to comply with repairing obligation*
- 10 November 2005 *Genport discharges costs orders the subject of the winding-up petition (and the bankruptcy petition)*
- 11 November 2005 *Tunney withdraws bankruptcy petition*
- October 2006 *Smyth re-acquires controlling interest in Genport from Leneghan and McNulty*
- 16 January 2007 *Three sets of proceedings instituted by Crofter in 2005 come on for hearing before Finlay Geoghegan J.*
- 22 March 2007 *Judgment of Finlay Geoghegan J. Court declines to terminate Genport's continued occupancy of hotel under section 28 of the Landlord and Tenant (Amendment) Act, 1980*
- 23 March 2007 *Ruling of Finlay Geoghegan J., setting out the Order to be made. Order for possession made in favour of Crofter, subject to a stay on condition that Genport discharge all arrears of rent, rates and insurance within fourteen days (for rent and insurance) and within 28 days for rates, and gales of rent and rates as they fall due. (All conditions fulfilled.) Undertaking of 11 July 2005 discharged and replaced with more limited undertaking not to carry out works contrary to clause 2(j) except insofar as required by a court order in the instant proceedings*
- 26, 27, 28 and 29 March 2007 *Genport's application for a new lease in respect of the hotel heard by Esmund Smyth J in the Circuit Court.*
- 4 April 2007 *Arrears of rent and insurance discharged to Lavelle Coleman (€946,438.87)*
- 13 April 2007 *Arrears of rates and water rates discharged to Dublin City Council (€222,435.11)*

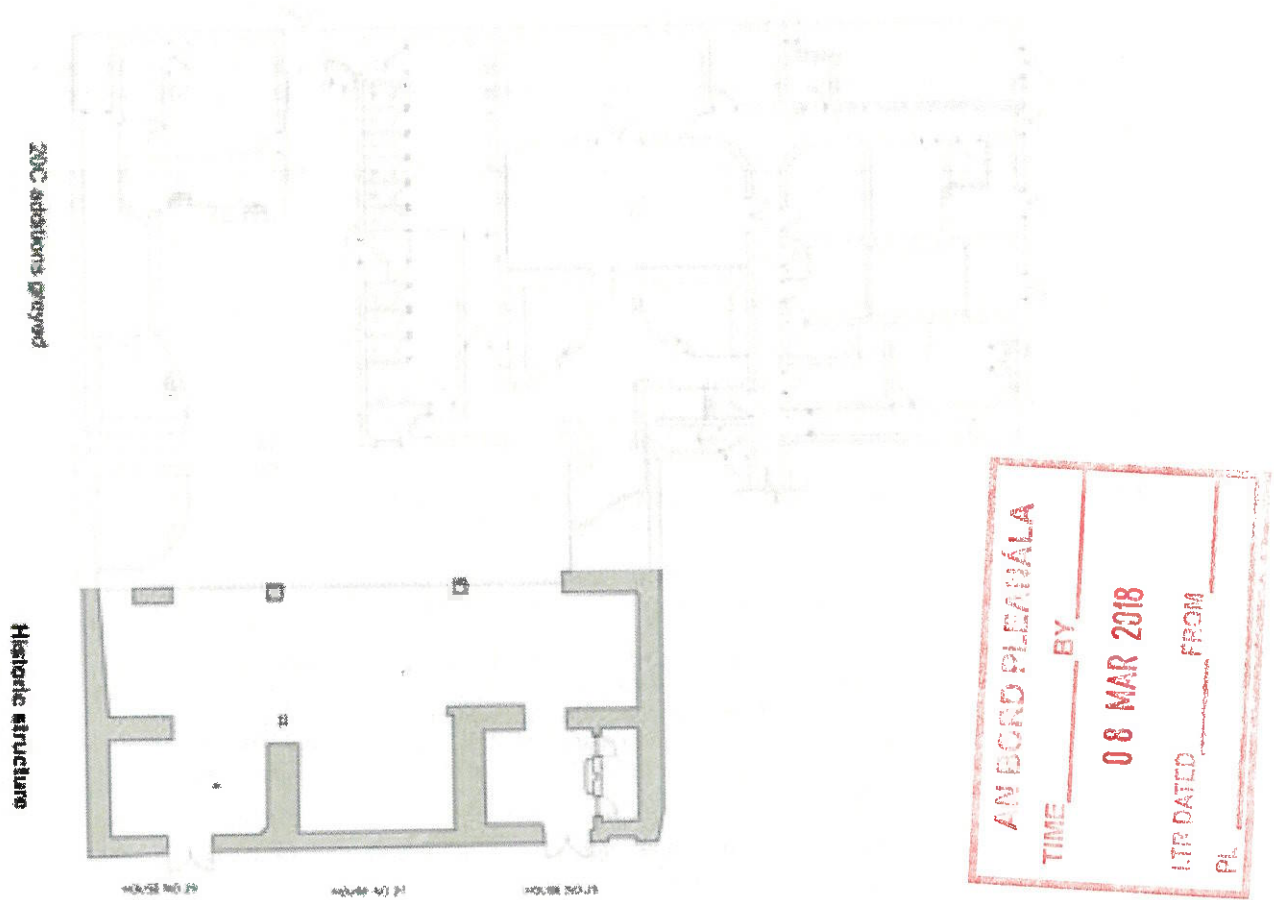


APPENDIX 3: LEGAL RECORDS: Abridged list prepared by PCL Halpenny Solicitors on the legal records of the interactions between Crofter and Genport from the start of the lease to 2012, including High Court Case 2007 No.138 CA.

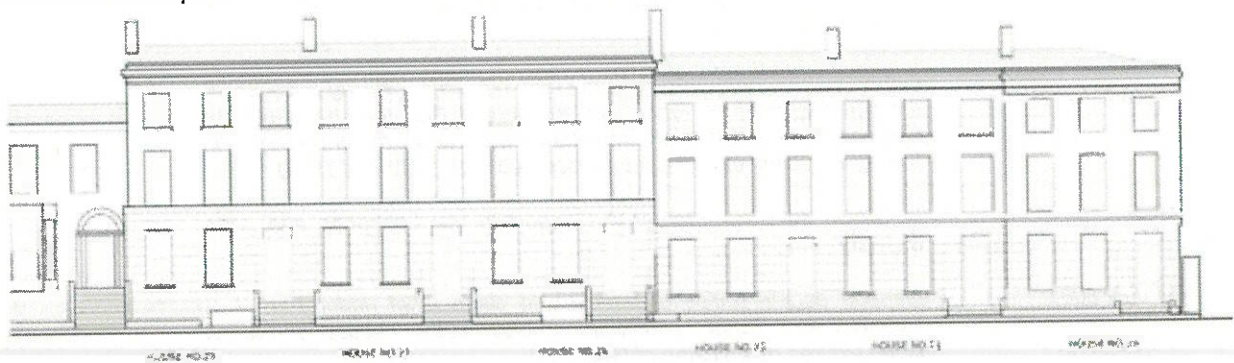
The current High Court Case 2017/7701P has not been included in the records attached to this document. The author understands that some of these documents have been submitted to Dublin City Council by Crofter.

| | |
|-------------------|---|
| 12 May 1981 | <i>Crofter/Genport original lease in Sachs Hotel for 21 years</i> |
| November 1986 | <i>Dispute arises re compliance with covenants in lease</i> |
| 1987 | <i>Crofter serves forfeiture notice on foot of alleged dilapidations and items of inventory allegedly missing</i> |
| 1988 | <i>Crofter commences ejectment proceedings against Genport (High Court 1988 No. 222 SP) seeking to forfeit the lease</i> |
| 1988 | <i>Settlement agreement in Gresham Hotel penthouse – Genport alleged written agreement subsequently altered by Crofter</i> |
| 1988 | <i>Genport and Philip Smyth bring fraud proceedings against Hugh Tunney, Crofter, Gerald Coulter and Caroline Devine (High Court 1988 No. 10501P) claiming settlement agreement altered. Plaintiffs ultimately (1996) failed to establish this. Costs orders against Genport and Smyth – basis of later bankruptcy and winding-up petitions</i> |
| 1995 | <i>Original forfeiture proceedings (1988) re-entered and heard by McCracken J - 70 Day Case.</i> |
| 6 December 1995 | <i>McCracken J. non-suits Crofter primarily because forfeiture notice did not allow sufficient time to Genport to remedy breaches of which complaint was made</i> |
| 3 January 1996 | <i>Crofter issues fresh proceedings (1996 No. 25P) seeking possession for non payment of rent. Not in dispute that rent not paid but Genport counterclaims for defamation etc. (anonymous phone calls to English police etc. which occurred between 1992 and 1994)</i> |
| 1999 | <i>P. Smyth sells his interest in Genport to Pat Leneghan and John McNulty</i> |
| 31 July 2001 | <i>Genport serves notice of intention to claim relief under Part II of Landlord and Tenant (Amendment) Act, 1980. Lease of Sach's Hotel expires by effluxion of time</i> |
| 12 December 2001 | <i>Crofter issues bankruptcy petition against Smyth founded on alleged act of bankruptcy (return of no goods on 12 December 2001)</i> |
| 12 December 2001 | <i>Tunney issues winding up petition against Genport</i> |
| 18 January 2002 | <i>Circuit Court Civil bill issued in the Landlord and Tenant application for new Lease.</i> |
| 10 September 2002 | <i>McCracken J. awards Genport general damages of £50,000, exemplary damages of £250,000 and credit for interest overpaid (£144,000). Crofter appeals against quantum</i> |

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



Basement floor plan

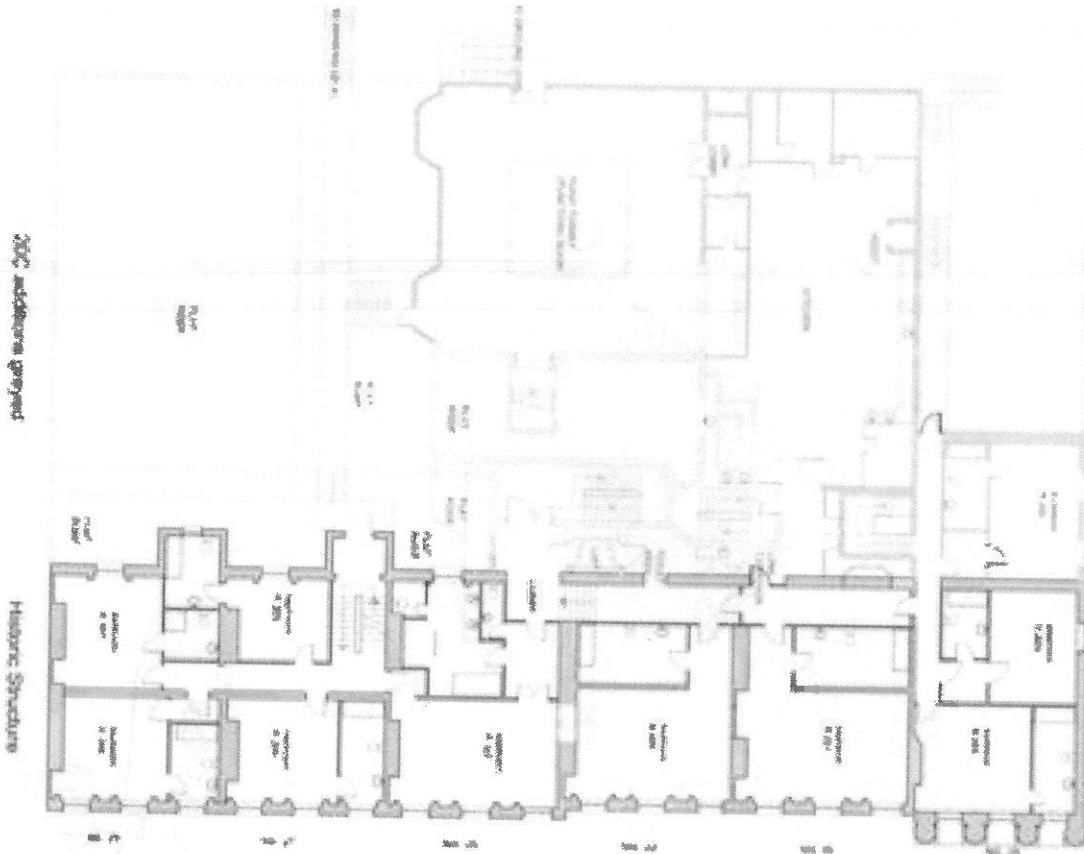


Front elevation



Rear elevation

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

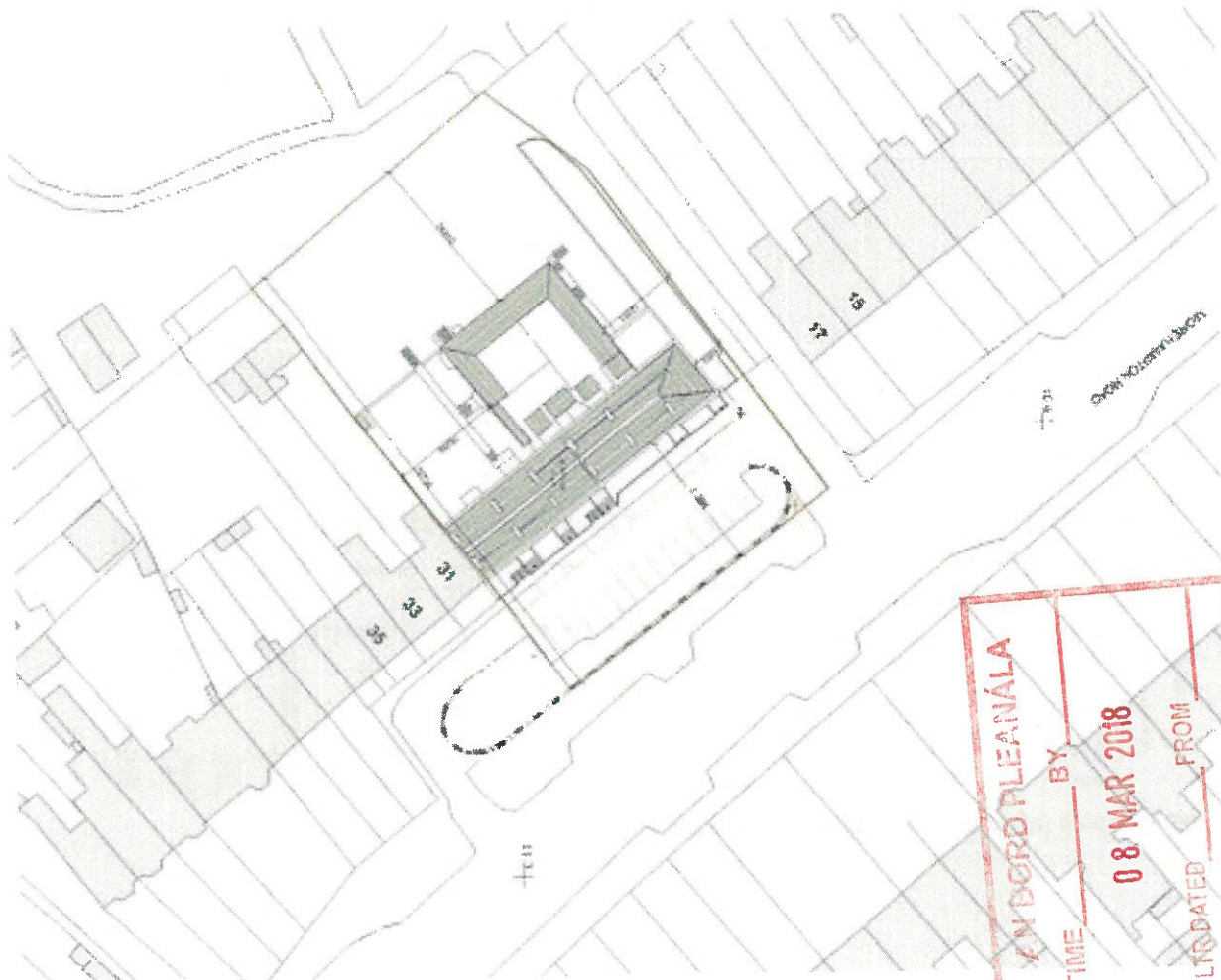


First floor plan (above), and ground floor plan (below)



hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

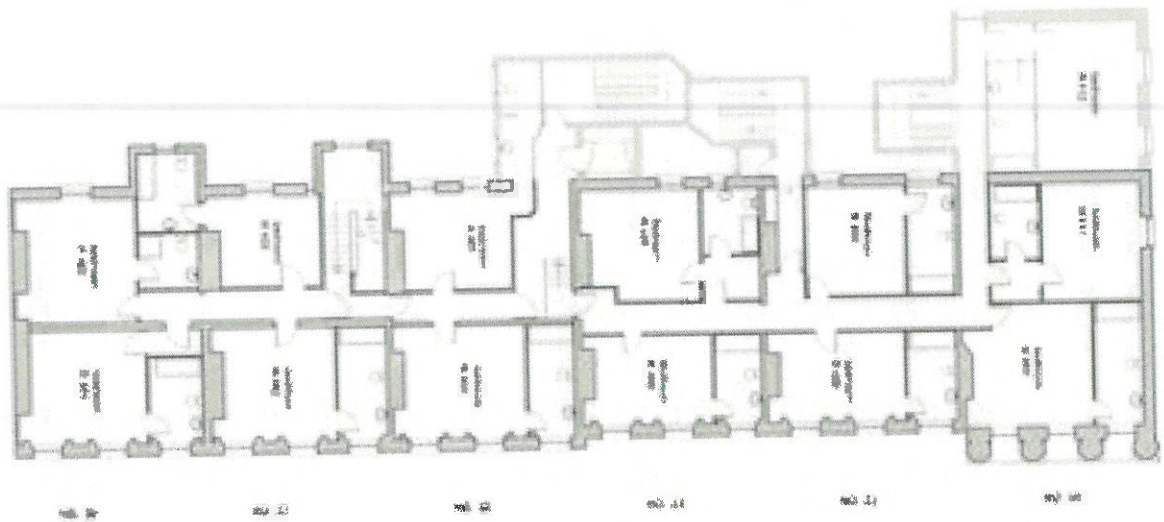
SURVEY DRAWINGS PRIOR TO 2009 INCLUDED FOR ILLUSTRATIVE PURPOSES



Roof plan and site plan

2009 architects proposed

Historic Structure



Second floor plan

single storey structure. These works are slight, neutral and medium term;

2(a): Relocation of existing fire escape, including partial roofing. These works are moderate, neutral and medium term;

2(b): Modification of the first flight of the existing fire escape stairs from the main function room. This work is slight, neutral and medium term; and

4: The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens. These works are slight, positive and short to medium term;

In the author's opinion, the works to the 20th / 21st century structure described above consist of internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure. As with the works to the historic parts of the structure, they too are reversible.

SUMMARY

The works that have been carried out to the buildings - both historic and non-historic - since 2009 are consistent with its use as a hotel. In the context of the overall use of the existing structures and the site, the nature of the works is relatively minor.

The four elements of work to the historic structure [Items 1(a), 1(c), 2(c) and 3] do not, in the author's opinion, materially affect the character of the protected structure or any element of it that contributes to its special interest.

Similarly, the five elements of the work to the 20th / 21st century [Items 1(b), 1(d), 2(a), 2(b) and 4] are, in the author's opinion, internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

Robin Mandal

28th September 2017

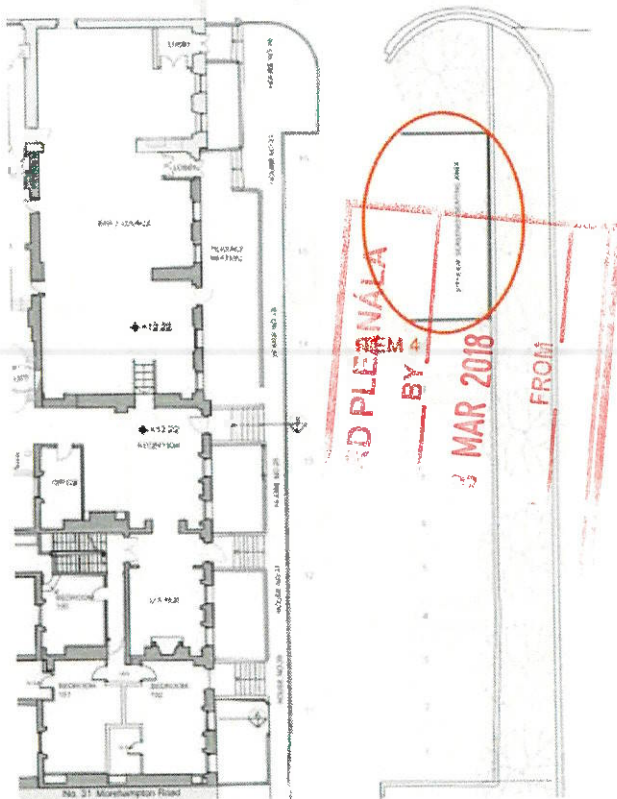
ASSESSMENT OF THE WORKS



external landscaped sitting area looking south



external landscaped sitting area looking north



sketch plan of area 4

Note: The terms used below are defined as follows:

Long-term: Impact lasting fifteen to sixty years.

Medium-term: Impact lasting seven to fifteen years.

Moderate: An impact that alters the character of the environment in a manner that is consistent with existing and emerging trends.

Slight: An impact which causes noticeable changes in the environment without affecting its sensitivities.

Neutral: A change which does not affect the quality of the environment.

Positive: A change which improves the quality of the environment.

This conservation assessment uses the terms above. The assessments below are based on those definitions, the analysis of the project and the author's view of the impacts.

The works involved to the historic structure since 2009 consist of:

1(a): The basement works, which allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;
1(c): The works to the front façades, which also allow for the reinstatement of the bedroom use to this area. These works are slight, neutral and medium term;

2(c): The reinstatement of no.29 to two rooms. This work is slight, neutral and medium term; and

3: The corridor along the rear of no.25 Morehampton Road, which allows for the connection of nos.27 and 29 to the lift. This work is slight, neutral and medium term.

All of the works described above are reversible, in accordance with the charter of Venice. They impact on elements of the structures that are not, in the author's opinion, of any special interest and have been carried out in areas of the historic structure that had no extant elements of special interest.

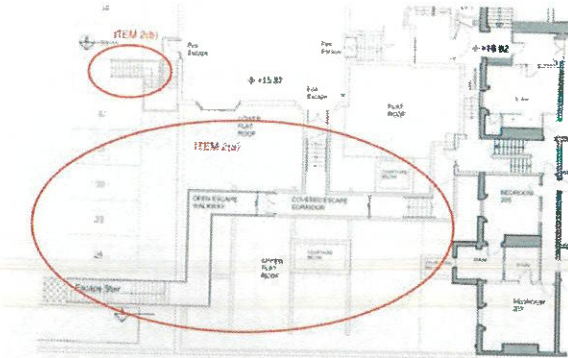
In the author's opinion, the works to the historic structure described above do not materially affect the character of the historic parts of the structure or any element contributing to its special interest.

The works involved to the 20th / 21st century structure since 2009 consist of:

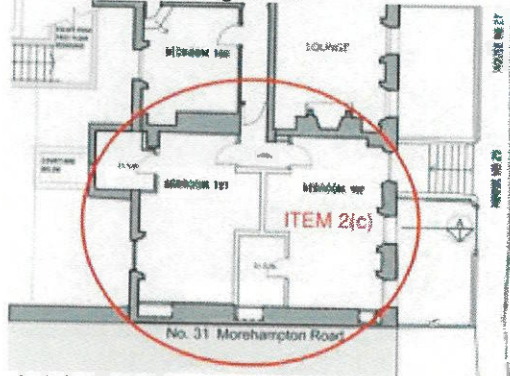
1(b): The conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms. These works are moderate, neutral and medium term;

1(d): Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4

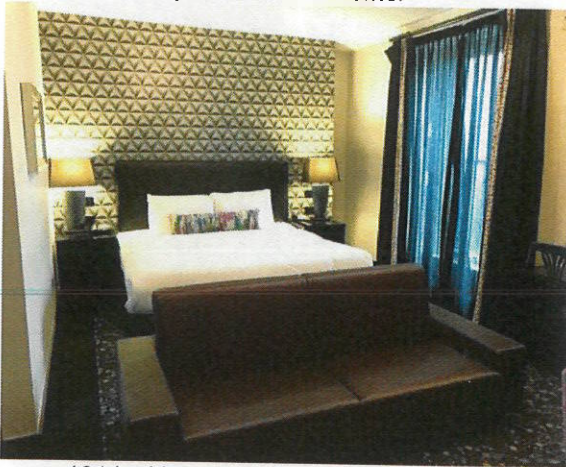


sketch plan showing routes -



sketch plan of area 2(c)

(c) Reinstatement of 29 Morehampton Road to two rooms, used as bedrooms.



room 101 looking south



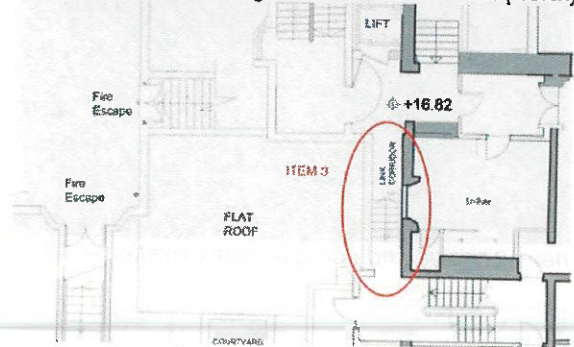
room 102 looking east

3. First Floor:

Construction of a 1.2 metre wide corridor across the rear of 25 Morehampton Road.



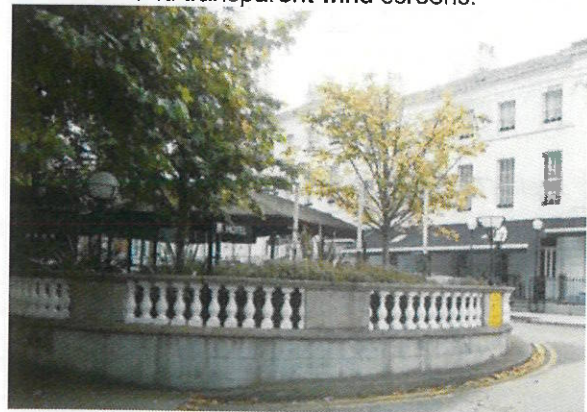
view from half-landing of no.27 towards lift (north)



sketch of first floor corridor - 3

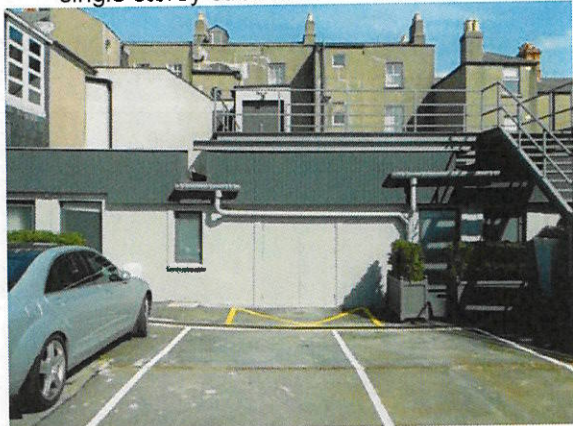
4. External Landscaping:

The landscaping of 4no. redundant car parking spaces to provide a seating area, including two umbrellas and transparent wind screens.



external landscaped sitting area

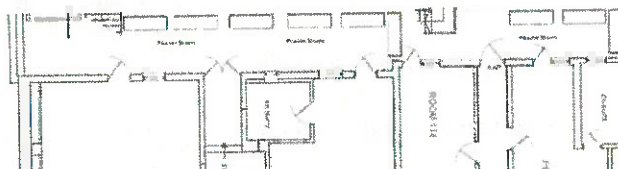
- (d) Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure.



new windows and doors in rear elevation



new windows and doors in rear elevation – 1(b)



sketch plan showing openings



sketch of rear elevation (before and after) – 1(b)



2. Ground Floor:

- (a) Relocation of existing fire escape, including partial roofing



view of the fire escape route and stairs to the right



view of fire escape corridor looking east

- (b) Modification of the first flight of the existing fire escape stairs from the main function room.



view of the last leg of the fire escape

hampton hotel, 19, 21, 23, 25, 27 and 29 Morehampton Road, Dublin 4



room 112 looking north



room 113 looking south



room 114 looking south west



room 115 looking west

(c) Reinstatement of windows and insertion of doors in former opes to the front façade of the historic structure of 25, 27 and 29 Morehampton Road.



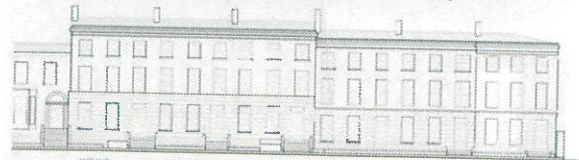
window and door at basement of no.29



window and door at basement of no.27



window and door at basement of no.25



sketch of front elevation (before and after) - 1(c)





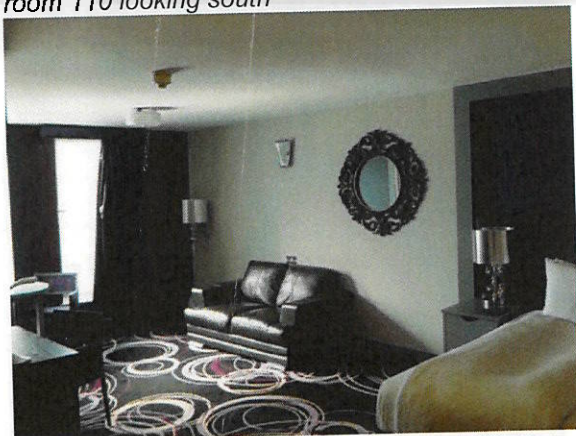
room 108 looking south



room 109 looking north



room 110 looking south



room 111 looking north



southern corridor looking east



lift shaft



northern corridor, looking west

PHOTOGRAPHIC RECORD OF THE WORKS

1: Basement Floor:

(a) Reinstatement of rooms in the historic structure as 3no. bedrooms.



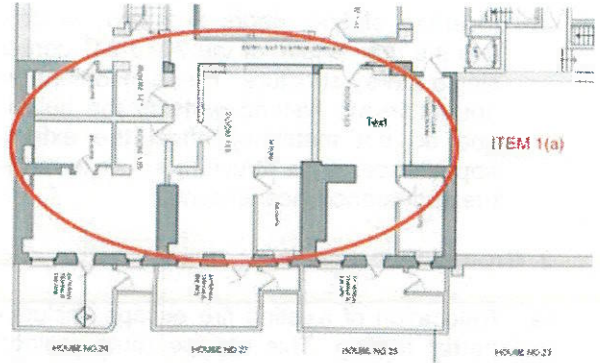
room 103 looking to front



room 105 looking to front

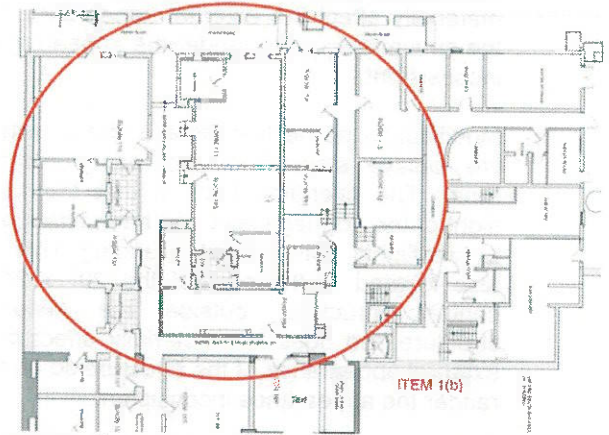


room 106 looking to front



sketch plan of area 1(a)

(b) Conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms.



sketch plan of area 1(b)



room 104 looking north



room 107 looking south

- (d) Insertion of 5no. doors and 4no. windows into the rear façade of the 20th / 21st century single storey structure: These insertions are not within the historic parts of the building and do not materially affect the external appearance of the structure so as to render the appearance inconsistent.

2. Ground Floor:

- (a) Relocation of existing fire escape, including partial roofing: This escape route replaces one which was closer to the main function room and is above the single storey 20th / 21st century structure and beyond the footprint of the historic structure. It improves the fire safety of the building and does not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (b) Modification of the first flight of the existing fire escape stairs from the main function room: The alteration here is that the first flight of the dog-leg stairs has been changed to two flights, with a quarter landing. This is also located at the rear of the 20th / 21st century structure, outside the historic structure and does not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (c) Reinstatement of 29 Morehampton Road to two rooms, used as bedrooms. This has helped to restore the plan form of the original structure and does not materially affect the character of the historic parts of the structure.

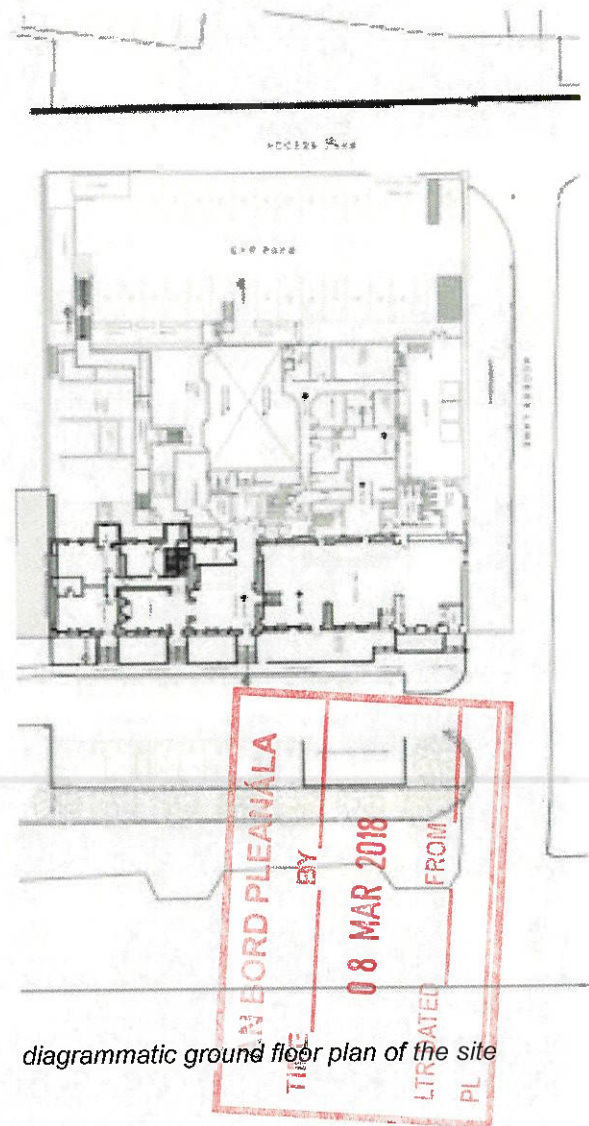
3. First Floor:

Construction of a 1.2 metre wide corridor across the rear of 25 Morehampton Road: This single-storey link is located outside the historic structure. It serves to allow access to nos.27 and 29 from the lift to the rear of no.25. Given the relocation of the fire escape at ground floor level, this first floor element is not visible. Being outside the historic structure, it neither materially affects the character of the historic parts of the structure nor does it materially affect the external appearance of the 20th century structure so as to render the appearance inconsistent.

4. External Landscaping:

The landscaping of 4no. under-used car parking spaces to provide a seating area, including two umbrellas and transparent wind screens: This layout uses surplus car parking spaces to the front of the hotel to allow for an outdoor seating

area behind the stone balustrade to Morehampton Road. At present there are 40 car parking spaces, 16 to the front area and 24 to the rear. The hotel is located in Zone 2 for car parking under the Dublin City Development Plan. This requires one car parking space for every three rooms. At the thirty-nine rooms that the hotel currently has, the requirement is for 13 spaces only. It is clearly a better use of the space to the front of the historic structure that it be used as a social space for visitors to the hotel. It does not materially affect the character of the historic parts of the structure nor does it materially affect the external appearance of the 20th century structure so as to render the appearance inconsistent.



In the 1837 O.S. map, the houses are called 'Adelaide Terrace', named after the consort of King William IV, Queen Adelaide. Three of the houses have been built. They have long returns to the north of each house. These returns do not remain.

In the 1876 Ordnance Survey map, eight houses have been constructed, but the southern two, as we know, were constructed in red brick, and did not form part of the originally conceived terrace. By this stage, all of the applicant houses have mews buildings, with the exception of no.19.

The first houses across Morehampton Road have been constructed, called Morehampton Terrace. A landscaped area has been set out to the front of Morehampton and Adelaide Terrace.

By 1907, the returns have disappeared from the maps (possibly a drafting error), except for nos.19 and 21, which have been amalgamated, and the houses to the north of Adelaide Terrace have been constructed. By this date, Herbert Park had been set out and there was more development on Morehampton road.

Later (1937) maps show that the returns remain at numbers 19, 21 and 23, but that they have been removed from numbers 25, 27 and 29. All of the houses have mews buildings at this stage.

In the mid twentieth century, numbers 21, 23 and 25 were joined together to form the Morehampton Hotel and the boundary walls between them were removed. In the latter part of the twentieth century all six houses were amalgamated. The hotel was called 'Sachs Hotel' from the mid 1970s. It is now called 'hampton hotel'.

As can be seen from the buildings themselves, as well as the maps, the original design for the entire terrace was to be a regency style palace fronted series of houses. The current numbers 25, 27 and 29 (constructed c.1850) form a breakfront element. Nos. 21 and 23 are recessed as a link wing, and number 19 is designed as a giant order Ionic façade. These three earlier buildings (constructed c.1830) would probably have been reflected to the south of nos. 25, 27 and 29. However, given that they were all constructed after the period to which their design refers, it would probably have been unlikely for the entire terrace to have been completed as originally intended.

A similar scheme on Harcourt Terrace in Dublin was completed (c.1840), with central, higher houses with pairs of semi-detached houses on either side. Adelaide Terrace was never completed as designed, so it appears somewhat one-sided. Other Georgian cities produced similar schemes, but they were carried out considerably earlier.

DESCRIPTION OF THE WORKS

The works since 2009 to the protected structures are clearly indicated on drawing numbers 1723-S5-001 to -005. They consist, in essence, of internal works and works that allow the reinstatement of the bedroom use, and do not materially affect the character of the historic parts of the structure or any element contributing to its special interest.

The works that have been carried out to the 20th / 21st century non-historic parts of the hotel are similarly internal works and external works that do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.

The works that are the subject of this Section 5 application are as follows, and are numbered in accordance with the drawings and with the descriptive photographs below. A brief description of the reason for these works is included.

1: Basement Floor:

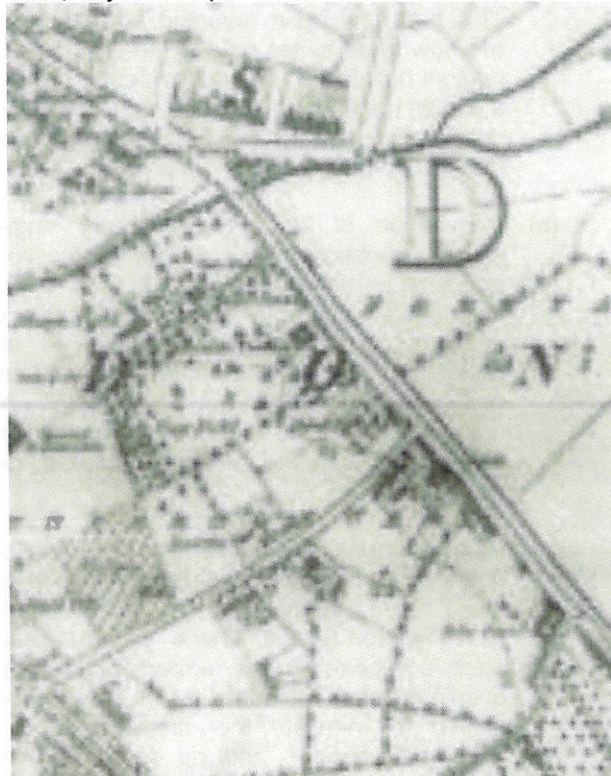
- (a) Reinstatement of rooms in the historic structure as 3no. bedrooms: The basement area of the historic structure had been opened up in the past to allow for functions. This has now been reversed so that there are now three suites on the line of the three original buildings. This has helped to restore the plan form of the original structure and does not materially affect the character of the historic parts of the structure.
- (b) Conversion of 20th / 21st century single storey extension to the rear from function and service rooms to 10no bedrooms: While not located in any part of the historic structure, the use of this floor area as bedrooms is more appropriate to the hotel use and these internal works do not materially affect the external appearance of the structure so as to render the appearance inconsistent.
- (c) Reinstatement of windows and insertion of doors in former opes to the front façade of the historic structure of 25, 27 and 29 Morehampton Road: These windows and doors are located in the formerly blocked up openings at basement level. They have helped to reinstate the character of the basement façades and do not materially affect it.

HISTORICAL MAPS

The maps consulted are illustrated below. They show that the buildings were not visible in Taylor's 1816 map. By 1837, the first three houses are visible.



1816, Taylor's map, with no structures in the area



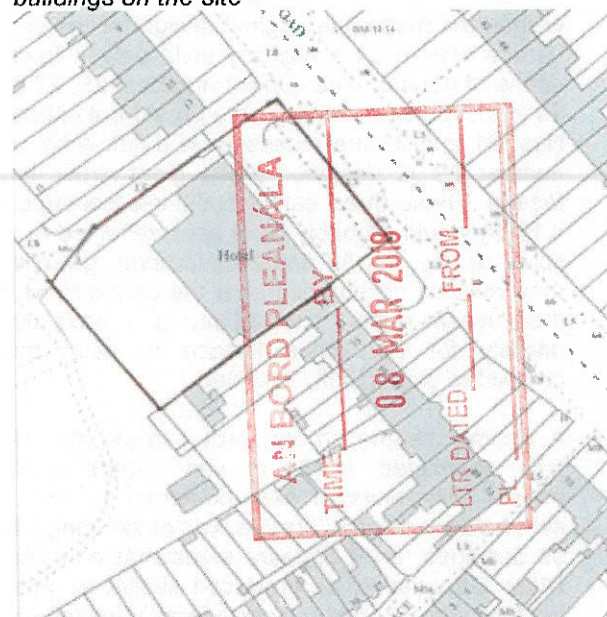
First edition O.S., showing the first three buildings, Nos.19, 21 and 23, called Adelaide Terrace



colour version of 1837 O.S. map



1876 Ordnance Survey, showing all of the buildings on the site



1992 Ordnance Survey map

CONSERVATION METHODOLOGY TO BE APPLIED IN THE CARRYING OUT OF THE WORKS

INSPECTION: On 10th October, I visited the site of the damaged balustrade. There is a large amount of construction taking place in the lands to the rear of the site. All of the construction traffic for that development has had to pass by the subject balustrade. The balustrade had been damaged, and had collapsed. It had been re-erected on a temporary basis, in a makeshift fashion. Its linear dimensions had also been altered in that it had been made smaller. The elements that were not re-erected are currently stored in the yard area behind the existing building.

The area that is severely damaged is between the last two piers, but the adjacent section nearer the public roadway is also in need of attention.

The balustrade consists of five elements. A lined, rendered masonry plinth forms a level base for the lower granite string course that acts as the base for the balustrades. The granite, while exceptionally weathered in parts, is carved externally to form a flat top, an inverted corona and fillet, with a torus moulding at the bottom. On the inside, the granite is straight cut. On this base course sit the balustrades, which are painted, cast iron. Some of the balustrades have been copied in concrete, obviously repairs that had taken place over the years. The balustrades support a granite coping rail, carved with a simple fillet and a corona mould on the lower part. Between the cast iron balustrade sections are square cut granite piers, some 900mm wide. Attached to these wide granite piers are cut, half balustrades.

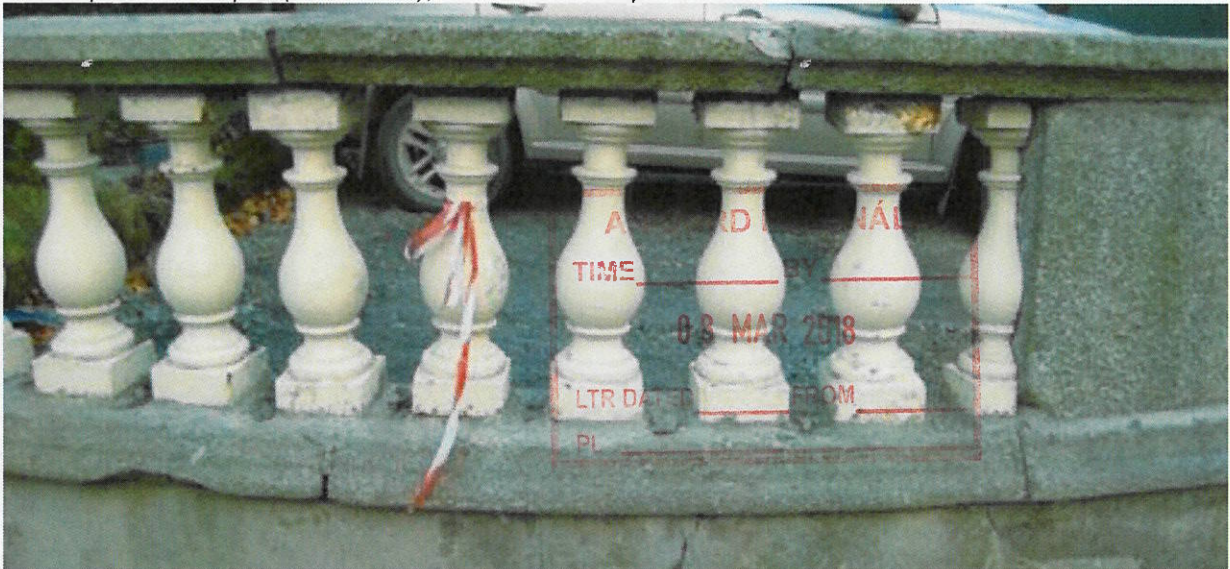
In the areas to be reinstated, the balustrading is set out as a wide radius curve, and this curve is reflected in the setting out of all of the individual elements. The granite stones, top and bottom, are cut out on the curve.



view of present end pier (from outside), concrete base repair visible



view of present end pier (from inside), concrete base repair visible



view of first part of balustrade at 19, Morehampton Road, from outside (above) and inside (below)

